

PRELIMINARY SITE PLAN FOR THE VUE WHITEHALL DISTRICT ALBEMARLE COUNTY, VIRGINIA

SITE DATA

OWNER: CROZET DEVELOPMENT SOLUTIONS, 1215 EAST MARKET STREET, SUITE B, CHARLOTTESVILLE, VA 22902
DEVELOPER: VUE REALTY PARTNERS, LLC, 1821 AVON STREET, SUITE 200, CHARLOTTESVILLE, VIRGINIA 22902
PHONE 434-979-2900, CONTACT MR. WILLIAM PARK

TAX MAP / PARCEL NUMBER: 56-115

PROPERTY ADDRESS: BLUE RIDGE AVENUE, CROZET, VIRGINIA 22932

PROPERTY SIZE: 21.854 ACRES

ZONING: R-6 RESIDENTIAL

MAGISTERIAL DISTRICT: WHITEHALL

COMPREHENSIVE PLAN: CROZET COMMUNITY - URBAN GENERAL (CT-4)

DRINKING WATER WATERSHED: LICKINGHOLE CREEK / SOUTH FORK RIVANNA RIVER RESERVOIR

PROPOSED USE: MULTI FAMILY RESIDENTIAL

TOTAL NUMBER OF UNITS / DENSITY: 126 MULTI FAMILY UNITS = 5.77 UNITS PER ACRE, 54 1BR UNITS, 72 2BR UNITS

DENSITY BONUS FACTORS: NONE

WAIVER/VARIANCE REQUESTS: NONE

SURVEY SOURCE: HAMRICK ENGINEERING, P.C., 540-248-7407

DATUM: NAVD 1988

BENCHMARK: NAIL IN BLUE RIDGE AVENUE, ELEVATION 698.02

IMPERVIOUS COVER BREAKDOWN:

LAND USE:	SQ. FT.	ACRES
BUILDINGS:	69,297	1.591
SIDEWALKS:	28,290	0.649
ASPHALT PARKING PAVING	84,855	1.948
CONCRETE POOL DECK:	4,446	0.102
TOTAL IMPERVIOUS AREA:	186,888	4.290

MAXIMUM PAVED PARKING AND VEHICULAR CIRCULATION AREA: 1.948 ACRES OR 84,855 S.F.

SETBACKS: FRONT = 25', SIDE = 15', REAR = 20'

MAXIMUM HEIGHT OF STRUCTURE: 35'

NUMBER OF EMPLOYEES: NOT APPLICABLE

RECREATIONAL AREA: PASSIVE DEDICATED OPEN SPACE = 14.817 ACRES OR 68% OF TOTAL SITE
SWIMMING POOL AND CLUB HOUSE AREA

PARKING DATA:

BUILDING USE: MULTI FAMILY RESIDENTIAL

SPACES REQUIRED: 1.5 SPACES PER 1 BED ROOM UNIT
2.0 SPACES PER 2 BED ROOM UNIT

TOTAL NUMBER OF 1 BED ROOM UNITS = 54
TOTAL NUMBER OF 2 BED ROOM UNITS = 72
TOTAL SPACES REQUIRED: $(1.5 \times 54) + (2.0 \times 72) = 225$

SPACES PROVIDED: SPACES DELINEATED = 218
H.C. PER ADA = 7
TOTAL PROVIDED = 225

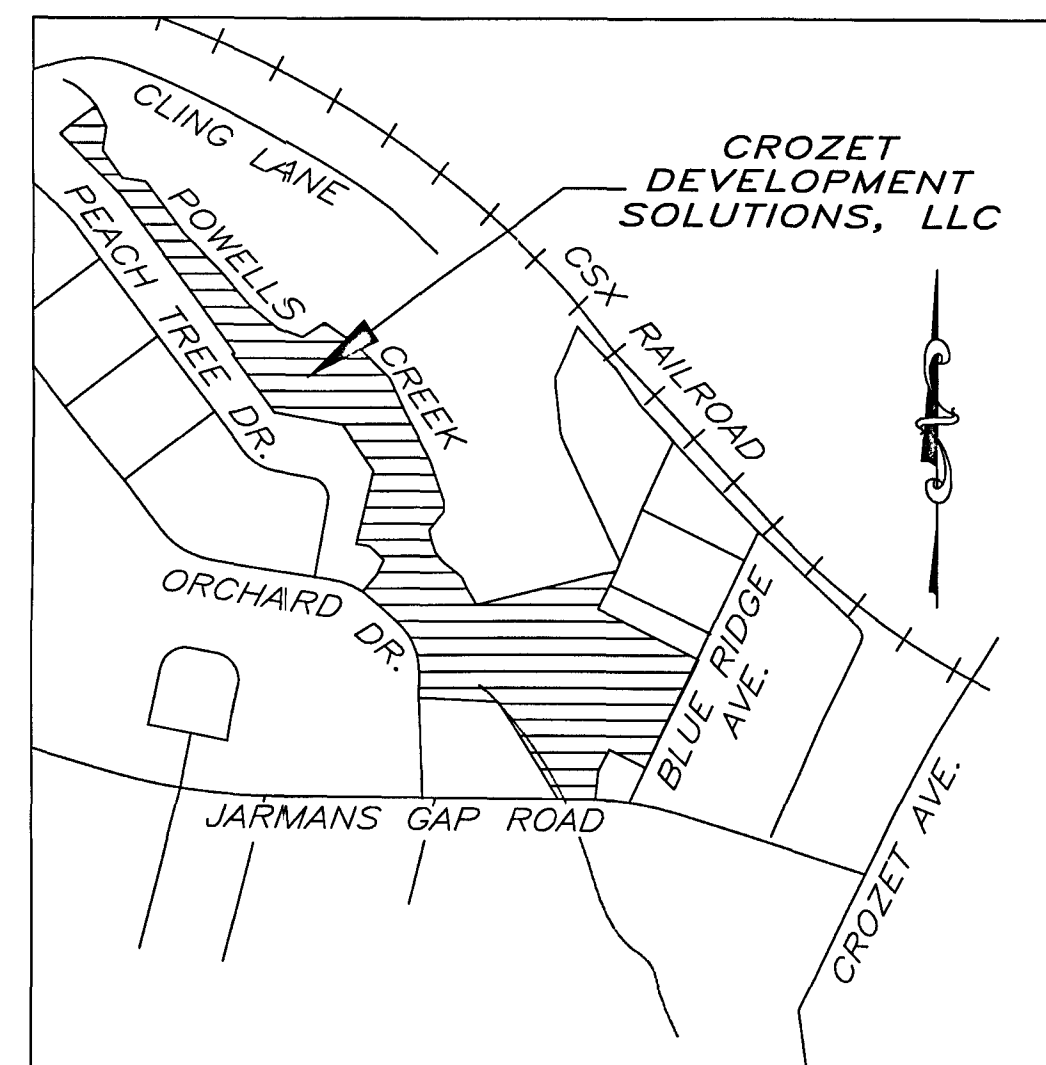
ALL SPACES ARE 9'x18' UNLESS OTHERWISE NOTED

TRAFFIC GENERATION FIGURES:

ITE LAND USE CODE: 280
NEW DAILY TRIPS: 887
AM PEAK: 65
PM PEAK: 87

PROJECT SPONSOR

VUE REALTY PARTNERS, LLC
ATTN: MR. WILLIAM PARK
1821 AVON STREET, SUITE 200
CHARLOTTESVILLE, VIRGINIA 22902
PHONE: 434-979-2900



VICINITY MAP

SCALE: 1" = 2,000'



Land Planning • Public Works • Environmental

Brasil W. Hamrick, Jr., P.E.

156 Laurel Hill Road
Route 612 East
Verona, VA 24482

540-248-7407
bwheng@verizon.net

PLAN SHEET INDEX			
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2	PROJECT NOTES AND DETAILS	11	COMPOSITE UTILITY PLAN (50 SCALE)
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8	SITE GRADING PLAN (50 SCALE)		
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PROJECT LEGEND

SYMBOLS

PROPOSED WATER LINE
PROPOSED SEWER LINE
EXISTING WATER LINE
EXISTING SEWER LINE
EXISTING CONTOURS
PROPOSED CONTOURS
EXISTING SANITARY MANHOLE
PROPOSED SANITARY MANHOLE
EXISTING DRAINAGE STRUCTURE
PROPOSED DRAINAGE STRUCTURE
EXISTING STORM SEWER
PROPOSED STORM SEWER
FENCE LINE
UTILITY POLE
GUY WIRE
OVERHEAD UTILITY LINE
UNDERGROUND TELEPHONE
EXISTING POWER UNDERGROUND
TELEPHONE PEDESTAL
EXISTING GAS
PROPOSED SEWER LATERAL
PROPOSED WATER LATERAL
EXISTING FIRE HYDRANT
PROPOSED FIRE HYDRANT
EXISTING CURB & GUTTER
PROPOSED CURB & GUTTER
REVERSE CURB & GUTTER

ABBREVIATIONS

CC	CENTER TO CENTER
CG	CURB & GUTTER
C	CENTERLINE
CMP	CORRUGATED METAL PIPE
CONC.	CONCRETE
DIP	DUCTILE IRON PIPE
Δ	DELTA
ESMT	EASEMENT
ELEV.	ELEVATION
EX.	EXISTING
F.H.	FIRE HYDRANT
GR	GROUND SHOT
INV.	INVERT
L	LENGTH
MH	MANHOLE
N/F	NOW OR FORMERLY
O.C.	ON CENTER
R	PROPERTY LINE
P.V.M.T.	PAVEMENT
EP	EDGE OF PAVEMENT
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
R.D.	ROOF DRAIN
R/W	RIGHT OF WAY
SAN	SANITARY
WM	WATER MAIN
TBM	TEMPORARY BENCH MARK
F/C	FACE OF CURB
T/C	TOP OF CURB
T/P	TOP OF PAVEMENT
T/S	TOP OF SIDEWALK
T/G	TOP OF GROUND
W/	WITH
C.O.	SAN. SEW. CLEAN OUT
IPF	IRON PIN FOUND
IPS	IRON PIN SET

NOTE: NOT ALL LEGEND ITEMS MAY APPEAR IN THESE PLANS

PLAN APPROVAL

PLANNING / ZONING

ENGINEER

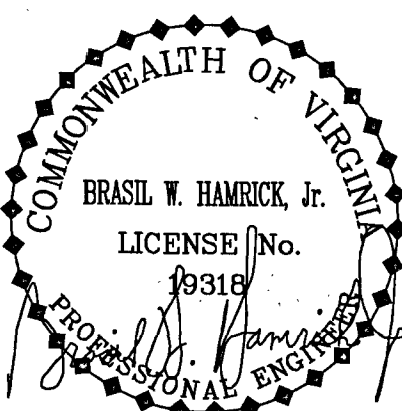
BUILDING OFFICIAL

ARCHITECTURAL REVIEW BOARD

FIRE OFFICIAL

ACSA

VDOT



PLOT DATE: 02/21/16
JOB No. 02-0206

SHEET C1 OF C16

GENERAL CONSTRUCTION NOTES FOR SITE PLANS

1. PRIOR TO ANY CONSTRUCTION WITHIN ANY EXISTING PUBLIC RIGHT-OF-WAY, INCLUDING CONNECTION TO ANY EXISTING ROAD, A PERMIT SHALL BE OBTAINED FROM THE VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT). THIS PLAN AS DRAWN MAY NOT NECESSARILY REFLECT THE REQUIREMENTS OF THE PERMIT. WHERE ANY DISCREPANCIES OCCUR, THE REQUIREMENTS OF THE PERMIT SHALL CONTROL.
2. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO CURRENT SPECIFICATIONS AND STANDARDS OF VDOT UNLESS OTHERWISE NOTED.
3. EROSION CONTROL MEASURES SHALL BE PROVIDED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL PLAN AND SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING OR OTHER CONSTRUCTION.
4. ALL SLOPES AND DISTURBED AREAS ARE TO BE FERTILIZED, SEEDDED AND MULCHED.
5. THE MAXIMUM ALLOWABLE SLOPED IS 1:1 (HORIZONTAL:VERTICAL) WHERE REASONABLY OBTAINABLE, LESSER SLOPES OF 3:1 OR BETTER ARE TO BE ACHIEVED.
6. PAVED, RIP-RAP OR STABILIZATION MAT LINED DITCH MAY BE REQUIRED WHEN IN THE OPINION OF THE ENGINEER, IT IS NECESSARY IN ORDER TO STABILIZE A DRAINAGE CHANNEL.
7. ALL TRAFFIC CONTROL SIGNS SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES AND VIRGINIA SUPPLEMENT.
8. UNLESS OTHERWISE NOTED, ALL CONCRETE PIPE SHALL BE REINFORCED CONCRETE PIPE-CLASS III.
9. EXCAVATION FOR UNDERGROUND PIPE INSTALLATION MUST COMPLY WITH OSHA STANDARDS FOR THE CONSTRUCTION INDUSTRY (29 CFR PART 1936).

GENERAL CONSTRUCTION NOTES FOR STREETS:

1. GENERAL CONSTRUCTION NOTES FOR STREETS (THIS LIST IS IN ADDITION TO THE GENERAL CONSTRUCTION NOTES)
2. CONSTRUCTION INSPECTION OF ALL PROPOSED ROADS WITHIN THE DEVELOPMENT WILL BE MADE BY THE COUNTY. THE COUNTY INSPECTOR MUST BE PRESENT AT THE BEGINNING OF COMMUNITY DEVELOPMENT (236-5832) 48 HOURS IN ADVANCE OF THE START OF CONSTRUCTION.
3. UPON COMPLETION OF FINE GRADING AND PREPARATION OF THE ROADBED SUBGRADE, THE CONTRACTOR SHALL SUBMIT A SUBGRADE ELEVATION SHEET TO THE COUNTY INSPECTOR. THIS SHEET SHALL BE SUBMITTED TO VDOT. IF A SUB GRADE SLOPE CBR OF 10 OR GREATER IS NOT OBTAINABLE, A REVISED PAVEMENT DESIGN SHALL BE MADE BY THE DESIGN ENGINEER AND SUBMITTED WITH THE TEST RESULTS FOR APPROVAL.
4. SURFACE DRAINAGE AND PIPE DISCHARGE MUST BE RETAINED WITHIN THE PUBLIC RIGHT-OF-WAY OR WITHIN THE SUBGRADE. PRIOR TO THE START OF CONSTRUCTION, ALL DRAINAGE OUTFALL EASEMENTS ARE TO BE EXTENDED TO A BOUNDARY LINE OR A NATURAL WATERCOURSE.
5. GUARDRAIL LOCATIONS ARE APPROXIMATE. EXACT LENGTH, LOCATION AND APPROPRIATE END TREATMENTS WILL BE DETERMINED BY THE COUNTY INSPECTOR. THE COUNTY INSPECTOR WILL BE REQUIRED TO BE PRESENT AND NOT SHOWN WHEN, IN THE OPINION OF THE COUNTY ENGINEER, OR DESIGNER, IT IS DEEMED NECESSARY. WHEN GUARDRAIL IS REQUIRED, IT SHALL BE INSTALLED FOUR (4) FEET OFFSET FROM THE EDGE OF PAVEMENT TO THE SHOULDER. GUARDRAIL SHALL BE INSTALLED AT ALL INTERSECTIONS AND AT ALL RESIDENTIAL DRIVEWAY ENTRANCES.
6. WHERE URBAN CROSS SECTIONS ARE INSTALLED, ALL RESIDENTIAL DRIVEWAY ENTRANCES SHALL CONFORM TO VDOT CG-9 (A OR B).
7. WHERE RURAL CROSS SECTIONS ARE INSTALLED, ALL RESIDENTIAL DRIVEWAY ENTRANCES SHALL CONFORM TO VDOT STANDARD PE-1.
8. COMPLIANCE WITH THE MINIMUM PAVEMENT WIDTH, SHOULDER WIDTH AND DITCH SECTIONS, AS SHOWN ON THE PAVEMENT PAVEMENT SECTION DETAIL, SHALL BE STRICTLY ADHERED TO.
9. ROAD PLAT PROVAL FOR THE PROJECT SHALL BE SUBMITTED TO THE DIVISION PLAT VALIDATION. SHOULD THE FINAL PLAT FOR THE PROJECT EXPIRE PRIOR TO SIGNING AND RECORDATION, THEN APPROVAL OF THESE PLANS SHALL BE NULL AND VOID.
10. ALL ORDER REGULATORY DEVICES SHALL CONFORM WITH THE VIRGINIA MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES AND THE ALABAMA COUNTY ROAD NAMING AND PROPERTY NUMBERING ORDINANCE AND MANUAL.
11. TRAFFIC CONTROL OR OTHER REGULATORY SIGNS OR BARRICADES SHALL BE INSTALLED BY THE DEVELOPER WHEN, IN THE OPINION OF THE COUNTY ENGINEER, OR DESIGNER, THEY ARE DEEMED NECESSARY IN ORDER TO PROVIDE SAFE AND CONVENIENT ACCESS.
12. THE SPEED LIMIT TO BE POSTED ON SPEED LIMIT SIGNS ARE 5 MPH BELOW THE DESIGN SPEED, OR AS DETERMINED BY VDOT.
13. VDOT STANDARD CD-1 OR CD-2 CROSS DRAINS UNDER TO BE INSTALLED UNDER THE SUBBASE MATERIAL AT ALL CUT AND FILL TRANSITIONS AND GRADE SAG POINTS AS SHOWN ON THE ROAD PROFILES.
14. A VIDEO CAMERA INSPECTION IS REQUIRED FOR ALL STORM SEWERS AND CULVERTS THAT ARE DEEMED NECESSARY TO THE PROJECT. THE VIDEO CAMERA INSPECTION SHALL BE CONDUCTED IN ACCORDANCE WITH VDOT'S VIDEO CAMERA INSPECTION PROCEDURE AND WITH A VDOT OR COUNTY INSPECTOR PRESENT.

GENERAL CONSTRUCTION NOTES FOR EROSION AND SEDIMENT CONTROL PLANS

1. THE PLAN APPROVING AUTHORITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL EROSION CONTROL PLAN SUBMITTAL.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATION OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND VIRGINIA REGULATIONS, AND THE EROSION AND SEDIMENT CONTROL REGULATIONS.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.
4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
5. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR A PERMIT TO THE OWNER FOR REVIEW AND APPROVAL BY THE PLAN APPROVING AUTHORITY.
6. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION FROM OCCURRING AS A RESULT OF THE DISTURBANCE.
7. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
8. DURING DRAINAGE OPERATIONS, WATER SHALL BE PREVENTED FROM ENTERING DRAINAGE DITCHES.
9. SEDIMENTATION SHALL BE PREVENTED BY EROSION CONTROL MEASURES PERIODICALLY AFTER EACH RUN-OFF PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS FOR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL MEASURES SHALL BE MADE IMMEDIATELY.
10. ALL FILLS AND FILL MATERIAL TO BE TAKEN FROM AN APPROVED BORROW AREA.
11. ALL WASTE MATERIAL SHALL BE TAKEN TO AN APPROVED WASTE AREA. EARTH FILL SHALL BE INERT MATERIALS ONLY, FREE OF ROOTS, STUMPS, WOOD, RUBBISH, AND OTHER DEBRIS.
12. BORROW OR WASTE AREAS ARE TO BE RECLAIMED WITHIN 7 DAYS OF COMPLETION PER ZONING ORDINANCE SECTION 5.1.28.
13. ALL INERT MATERIALS SHALL BE TRANSPORTED IN COMPLIANCE WITH SECTION 13-301 OF THE CODE OF ALLEGANY COUNTY.
14. BORROW, FILL OR WASTE ACTIVITY INVOLVING INDUSTRIAL-TYPE POWER EQUIPMENT SHALL BE LIMITED TO THE HOURS OF 7:00 AM TO 8:00 PM.
15. BORROWING OR WASTE ACTIVITY SHALL BE CONDUCTED IN A SAFE MANNER THAT MAINTAINS LATERAL SUPPORT, AND ORDER TO MINIMIZE ANY HAZARD TO PERSONS, PHYSICAL DAMAGE TO ADJACENT LAND AND IMPROVEMENTS, OR DAMAGE TO ANY PUBLIC STREET BECAUSE OF SLIDES, SINKING, OR COLLAPSE.
16. THE EROSION CONTROL MEASURES ARE TO BE INSTALLED, MAINTAINED, REPAIRED, OR CONVERT TO PERMANENT STORM WATER MANAGEMENT FACILITIES, WHERE APPLICABLE. ALL EROSION CONTROL MEASURES REQUIRED BY THIS PLAN REGARDLESS OF THE SALE OF ANY LOT, UNIT, BUILDING OR OTHER PORTION OF THE PROPERTY.
17. TEMPORARY STABILIZATION SHALL BE TEMPORARY SEEDING AND MULCHING. SEEDING IS TO BE AT 75 LBS/ACRE, AND STRAW MULCH IS TO BE APPLIED TO COVER THE SEED. SEEDING IS TO COVER ALL AREAS OF BARE SOIL AND CEREAL WINTER RYE, OR IN MARCH AND APRIL TO CONSIST OF ANNUAL RYE, OR MAY THROUGH AUGUST TO TO CONSIST OF GERMAN MILLET. STRAW MULCH IS TO BE APPLIED AT 800LBS/1000SF. ALTERNATIVES ARE TO BE APPROVED BY THE PLAN APPROVING AUTHORITY.
18. PERMANENT STABILIZATION SHALL BE LIME AND FERTILIZER, PERMANENT SEEDING, AND MULCH. AGRICULTURAL GRADE LIMESTONE SHALL BE APPLIED AT 90LBS/1000SF. INCORPORATED INTO THE TOP 4-6 INCHES OF SOIL. FERTILIZER SHALL BE APPLIED AT 100LBS/ACRE AND SEEDING OF 10-20-20 OR 10-20-20 NUTRIENT MILLET. SEEDING SHALL BE APRIL THROUGH MAY. STRAW MULCH IS TO BE APPLIED AT 800 LBS/1000SF. STRAW MULCH IS TO BE APPLIED AT 800LBS/1000SF. ALTERNATIVES ARE SUBJECT TO APPROVAL BY THE COUNTY EROSION CONTROL INSPECTOR.
19. MAINTENANCE AND REPAIRS TO EROSION CONTROL MEASURES SHALL BE MAINTAINED. ANY DAMAGE OR CLOSING TO STRUCTURAL MEASURES IS TO BE REPAIRED IMMEDIATELY. SILT TRAPS ARE TO BE CLEARED WHEN 50% OF THE WET STORAGE VOLUME IS FILLED WITH SEDIMENT. ALL SEEDED AREAS ARE TO BE RESEED WHEN NECESSARY TO ACHIEVE 90% COVER. SEDIMENT TRAPS ARE TO BE CLEARED WHEN 50% OF THE VOLUME IS FILLED. SEDIMENT TO HALF THEIR HEIGHT MUST BE CLEARED AND REPAIRED IMMEDIATELY.
20. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE REMOVED WITHIN 30 DAYS OF FINAL SITE STABILIZATION, WHEN MEASURES ARE NO LONGER NEEDED, SUBJECT TO APPROVAL BY THE COUNTY EROSION CONTROL INSPECTOR.
21. THIS PLAN SHALL BE VOID IF THE OWNER DOES NOT OBTAIN A PERMIT WITHIN 1 YEAR OF THE DATE OF APPROVAL. (WATER PROTECTION ORDINANCE SECTION 17-204G).
22. THIS PLAN SHALL BE VOID IF THE OWNER DOES NOT OBTAIN A PERMIT WITHIN NINE (9) MONTHS AFTER THE DATE THE LAND DISTURBING ACTIVITY COMMENCED. (WATER PROTECTION ORDINANCE SECTION 17-207B.)

RIVANNAH WATER AND SEWER AUTHORITY (RWSA) GENERAL WATER AND SANITARY SEWER NOTES

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL COMPLY WITH THE LATEST VERSION OF THE GENERAL WATER AND SEWER CONSTRUCTION SPECIFICATIONS AS ADOPTED BY THE ALBEMARLE COUNTY SERVICE AUTHORITY.
2. RWSA SHALL APPROVE ALL CONSTRUCTION MATERIALS AND METHODS OF CONSTRUCTION. A PRECONSTRUCTION CONFERENCE SHALL BE HELD WITH RWSA PRIOR TO THE START OF ANY WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING MISSISSIPPI POWER & LIGHT (MPL) AT (601)-552-7001 IN WRITING (FACILITY # 4344) 977 5971 (EXT. 225) AT LEAST TWO (2) BUSINESS DAYS BEFORE THE NOTIFICATION IS REQUIRED. IT MUST BE NOTIFIED THREE BUSINESS DAYS PRIOR TO THE START OF ANY WORK AFFECTING THE RWSA 18" WATER MAIN.
4. ALL WORK IS SUBJECT TO INSPECTION BY RWSA STAFF. NO TIE-INS TO THE EXISTING SYSTEM SHALL BE MADE ON WEEKENDS OR HOLIDAYS WITHOUT SPECIAL WRITTEN PERMISSION FROM RWSA.
5. FOR SANITARY SEWER LINE CONSTRUCTION: RWSA MAY REQUIRE BYPASS PUMPING FOR TIE-INS TO THE EXISTING SYSTEM. PROTECTION OF ALL EXISTING UTILITIES, BOTH SURFACE AND SUBSURFACE, SHALL BE MADE TO THE SYSTEM.
6. THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THE PLANS IS FROM DATA AVAILABLE AT THE TIME OF DESIGN AND IS NOT NECESSARILY COMPLETE OR ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE LOCATION OF ALL EXISTING UTILITIES, BOTH SURFACE AND SUBSURFACE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS. THE CONTRACTOR SHALL USE DUE DILIGENCE TO PROTECT ALL UTILITIES AND STRUCTURES FROM DAMAGE AT ALL TIMES. IF THERE IS ANY DOUBT AS TO THE POSITION OF AN UTILITY, THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR TO THE ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
7. EROSION AND SEDIMENT CONTROL FACILITIES SHALL NOT BE PERMITTED IN THE RWSA EASEMENT WITHOUT SPECIAL WRITTEN PERMISSION FROM RWSA. NO GRADING SHALL BE PERMITTED IN THE RWSA EASEMENT UNLESS PERMITTED BY RWSA.
8. NO BLASTING SHALL BE PERMITTED WITHIN 100 FEET OF RWSA FACILITIES WITHOUT WRITTEN PERMISSION AND RWSA APPROVAL OF THE BLASTING PLAN, GROUND MONITORING DURING BLASTING AND PRE-BLAST SURVEY. NO BURNING SHALL BE PERMITTED WITHIN 100 FEET OF ANY RWSA LINES. PAVING, PUMPING AND/OR PRE - A/D POST -CUTV MAY BE REQUIRED. RWSA MAY ALSO REQUIRE CERTIFICATION FROM A LICENSED PROFESSIONAL ENGINEER STATING THAT THE PROPOSED BLASTING WILL NOT DAMAGE ANY RWSA FACILITIES.
9. IF ANY UTILITY SHALL BE REPAIRED BY THE CONTRACTOR TO THE ORIGINAL CONDITION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING THE UTILITY TO THE ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
10. THE CONTRACTOR SHALL OBSERVE MINIMUM SEPARATION REQUIREMENTS FOR UTILITY CROSSINGS. WHEN CROSSING UNDER, THE NEW PIPE SHALL BE PRESSURE TESTED, CHLORINATED, FLUSHED AND HAVE WATER SPRUNG LINE OF THE EXISTING PIPE. THE AREA OF THE CROSSING SHALL BE BACKFILLED WITH COMPACTED 5% STONE TO THE SPRING LINE OF THE EXISTING PIPE.
11. NEW WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED, CHLORINATED, FLUSHED AND HAVE WATER SPRUNG LINE OF THE EXISTING PIPE. APPROVED METHODS OF FILLING AND FLUSHING NEW WATER MAINS WILL BE REQUIRED TO PREVENT ANY CONTAMINATION OF THE PUBLIC WATER SYSTEM.
12. ALL EASEMENTS FOR RWSA FACILITIES SHALL BE RECORDED PRIOR TO PLACING THE NEW FACILITIES INTO SERVICE.
13. NO PERMANENT STRUCTURAL FACILITIES WILL BE PERMITTED IN THE RWSA EASEMENT. THIS INCLUDES OVERHEADS, REDUCING WALLS, FOOTERS FOR ANY STRUCTURE, DRAINAGE STRUCTURES, ETC.
14. TREES ARE NOT PERMITTED IN THE RWSA EASEMENT.

ACSA GENERAL WATER & SEWER CONDITIONS

1. WORK SHALL BE SUBJECT TO INSPECTION BY ALBEMARLE COUNTY SERVICE AUTHORITY (ACSA) INSPECTORS. THE CONTRACTOR WILL BE RESPONSIBLE FOR NOTIFYING THE PROPER ACSA OFFICIALS AT THE START OF THE WORK.
2. IF ANY UNEXPECTED OBSTACLE OR CONDITION IS ENCOUNTERED THAT WAS NOT SHOWN OR NOT KNOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATELY CORRECT, THE CONTRACTOR SHALL, ON HIS OWN INITIATIVE, LOCATE ALL UNDERGROUND LINES AND STRUCTURES NECESSARY TO COMPLY WITH THE
3. GENERAL WATER AND SEWER CONSTRUCTION COMPLIES WITH THE CURRENT EDITION OF THE GENERAL WATER AND SEWER CONSTRUCTION SPECIFICATIONS, AS ADOPTED BY THE ACSA.
4. THE ELEVATIONS SHOWN IN NATIONAL GRID SYSTEM SHALL BE USED.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING MISS UTILITY (1-800-552-7001).
6. ALL WATER AND SEWER PIPES SHALL HAVE A MINIMUM OF (3) FEET OF COVER MEASURED FROM THE TOP OF THE PIPE DOWN TO THE CENTERLINE OF PIPE. THIS INCLUDES ALL FIRE HYDRANT LINES, SERVICE LATERALS AND WATER LINES, ETC.
7. ALL WATER AND SEWER APPURTENANCES ARE TO BE LOCATED OUTSIDE OF ROADSIDE DITCHES.
8. ALL CURBS, LEAKAGE HEADS AND BIG END WOODS SHALL BE PROVIDED ADEQUATE RESTRAINT FOR THE VALVE DURING A FUTURE EXTENSION OF THE LINE.
9. TREES ARE NOT PERMITTED IN THE ACSA EASEMENT.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE NO-LEAK REGULATION BRASS FITTINGS EFFECTIVE JANUARY 4, 2014 (SENATE BILL 3874 WHICH AMENDS THE SAFE DRINKING WATER ACT).

GENERAL UTILITY NOTES

1. CONTACT MISS UTILITY AT 1-800-552-7001 AS 48 HOURS PRIOR TO ANY GRADING OR DIGGING TO HAVE UNDERGROUND UTILITIES MARKED. THE CONTRACTOR SHALL VERIFY ALL UTILITY INFORMATION PRIOR TO CONSTRUCTION TO INCLUDE ALL EXISTING WATER, GAS, FIBER AND CABLE UTILITIES.
2. ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM AVAILABLE RECORDS AND ARE APPROXIMATE. THE CONTRACTORS REQUIRED TO DIG TEST PITS IN ADVANCE OF TRENCHING IN ORDER TO DETERMINE THE EXACT LOCATION AND ELEVATION AT CROSSINGS. IF A CONFLICT IS DISCOVERED, NOTIFY HAMRICK ENGINEERING, P.C. AT 910-486-1100 PRIOR TO BEGINNING INSTALLATION OF UTILITIES. CONTRACTOR SHALL VERIFY INVERTS AT ALL CONNECTIONS WITH EXISTING UTILITIES PRIOR TO PURCHASING OR ORDERING ANY PRECAST STRUCTURES.
3. ALL HYDRANT LOCATIONS TO BE INSTALLED BY THE ALBEMARLE COUNTY FIRE MARSHAL PRIOR TO FINAL APPROVAL OF THE COUNTY. ALL HYDRANTS TO BE INSTALLED ACCORDING TO HUNTSVILLE HYDRANT STANDARD.
4. ALL ELASTIC REQUIREMENTS TO APPROVED UTILITIES SHALL REQUIRE PERMITS AND SHALL BE PERFORMED IN ACCORDANCE WITH THE ALBEMARLE COUNTY STANDARDS AND THE PROJECT SPECIFICATIONS.
5. ALL STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH VDOT SPECIFICATIONS SECTION 302 AND 303. ALL CONCRETE USED IN UTILITY CONSTRUCTION SHALL BE 4000 PSI CONCRETE IN ACCORDANCE WITH VDOT SPECIFICATION UNDER 217.
6. NO PLANTINGS OR ERECTION OF OTHER OBSTRUCTIONS SHALL BE MADE WITHIN FOUR FEET OF ANY FIRE HYDRANT.
7. ALL HYDRANT BRANCHES SHALL HAVE A MINIMUM COVER OF 3.0'.
8. ALL UTILITIES TO BE PLACED UNDER EXISTING COUNTY STREETS MUST BE BORED OR JACKED UNLESS SPECIFICALLY APPROVED OTHERWISE OR NOTED ON THE PLANS.
9. WATER METER SHALL BE INSTALLED IN AN ACCESSIBLE LOCATION AND SHALL NOT BE INSTALLED UNDER EXISTING PIPING OR CLOSE TO OTHER FACILITIES.
10. WATER AND SEWER UTILITY CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALBEMARLE COUNTY STANDARDS AND THE AUTHORITY'S CONSTRUCTION SPECIFICATIONS.
11. A 10 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED UNLESS OTHERWISE SPECIFIED BETWEEN ALL WATER LINES AND SANITARY SEWER LINES IN ACCORDANCE WITH STATE HEALTH DEPT. STANDARDS.

COORDINATION NOTES

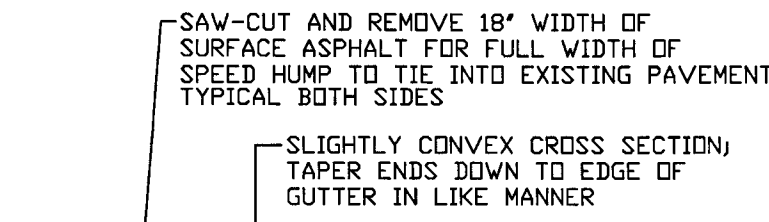
1. THE CONTRACTOR SHALL OBTAIN THE FOLLOWING PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS; VDOT AND AGRICULTURAL LAND USE PERMIT FROM THE VIRGINIA DEPARTMENT OF TRANSPORTATION AND CONSUMER AFFAIRS LICENSE. CONTRACTOR SHALL PROVIDE ALL NECESSARY FORMS AND FEES FOR OBTAINING THE PERMITS, INCLUDING APPLICATION FEES AND REQUIRED BONDING COSTS.
2. IF AN EXISTING EASEMENT OR AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK, AND TO FOLLOW ANY GUIDELINE OR REQUIREMENTS THAT MAY BE IMPOSED BY SUCH PARTY.
3. THE CONTRACTOR IS TO CHECK THAT ALL EASEMENTS, LETTERS OF PERMISSION, ETC. ARE RECORDED/OBTAINED PRIOR TO THE START OF ANY CONSTRUCTION.
4. THE CONTRACTOR SHALL COMPLY WITH ALL TREE PRESERVATION SIGNAGE REQUIRED BY ALBERMARLE COUNTY CODE.
5. THE STORM WATER MANAGEMENT PROGRAM (VSPM) PHASE 1 LAND CLEARING GENERAL PERMIT HAS BEEN OBTAINED BY THE PROPERTY OWNER.

MISCELLANEOUS NOTES

1. PORTIONS OF THE PROPERTY DESCRIBED HEREON LIE WITHIN FLOOD ZONE AE or the 100-year and 500-year flood zones as shown on the Flood Insurance Rate Map (FIRM), NUMBER 51003C0229D WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2005.
2. THE CONTRACTOR SHALL VERIFY ALL UTILITY INFORMATION PRIOR TO CONSTRUCTION TO INCLUDE TYPE AND SIZE OF PIPE AND SERVICES TO HIS OWN SATISFACTION.
3. HORIZONTAL DATUM: NAVD 83
4. VERTICAL DATUM: NAVD 88
5. EXISTING TOPOGRAPHY FOR THIS SITE IS BASED ON A FIELD SURVEY PERFORMED BY HAMCRK ENGINEERING, P.C. DURING MARCH 2015.
6. CONTRACTOR SHALL BE INFORMED AND SHALL COMPLY WITH THE VIRGINIA OVERHEAD HIGH VOLTAGE LINE SAFETY ACT. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND DISCONNECTING ALL OVERHEAD HIGH VOLTAGE LINES AT THE CONTRACTORS EXPENSE.

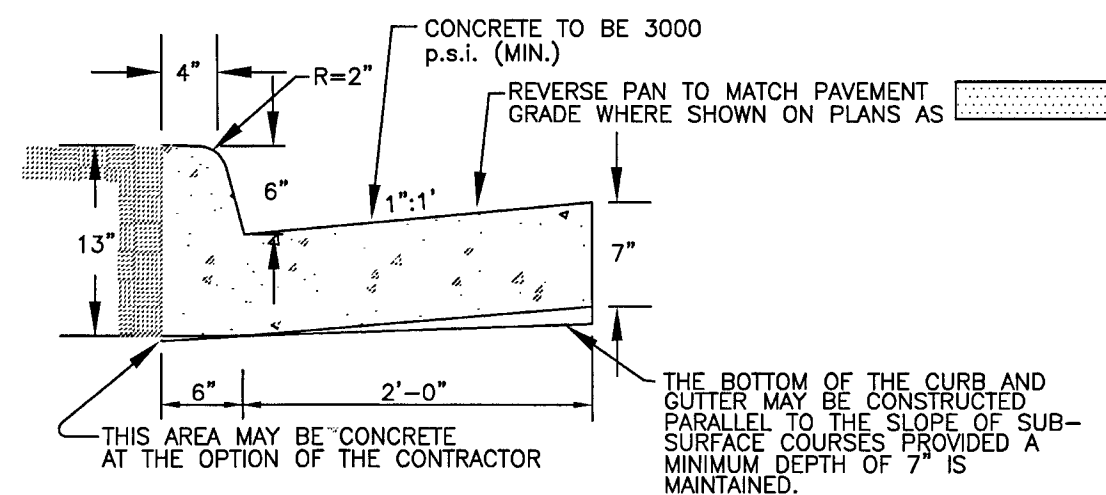
GENERAL NOTES

1. ALL FINISHED GRADING, SEEDING AND SODDING SHALL BE DONE IN SUCH A MANNER TO PRECLUDE THE PONDING OF THE WATER ON THE SITE, PARTICULARLY ADJACENT TO THE BUILDINGS OR STORM INLETS.
2. ALL EXCAVATED AREAS SHALL BE PROTECTED FROM WATER, PUBLIC ACCESS, CABLE, ETC., AND ARE IN PLACE PRIOR TO CONSTRUCTION OF SUBBASE AND/OR PAVING.
3. PROPOSED UNDERGROUND UTILITIES SUCH AS ELECTRIC, TELEPHONE, AND CABLE WHICH SERVE THIS FACILITY SHALL BE LOCATED AND IDENTIFIED PRIOR TO CONSTRUCTION OF THE SANITARY SEWER.
4. CONTRACTOR SHALL BE INFORMED AND SHALL COMPLY WITH THE VIRGINIA OVERHEAD HIGH VOLTAGE LINE SAFETY ACT AND THE COSTS TO COVER LINES OR DISCONNECT SERVICE TO NEARBY POWER LINES SHALL BE AT THE CONTRACTOR'S EXPENSE.
5. CUT AND PATCH WORK IN EXISTING PUBLIC STREETS MUST BE PERFORMED IN ACCORDANCE WITH VDOT AND ALBERMARLE COUNTY STANDARD AND SPECIFICATIONS.
6. ALL PIPES SHOWN ON PLANS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76, UNLESS INDICATED OTHERWISE ON PLANS.
7. ALL CONSTRUCTION SHALL COMPLY WITH OSHA SAFETY STANDARD FOR EXCAVATION 1926 PART P AND OTHER APPLICABLE OSHA STANDARDS.
8. THESE PLANS AND PROFILES AND ALL THE NEW CONSTRUCTION WITH THIS PLAN SHALL BE IN ACCORDANCE WITH THE CURRENT APPROVED ALBERMARLE COUNTY SAFETY AUTHORITY'S GENERAL WATER AND SEWER CONSTRUCTION STANDARDS, CONDITIONS, AND SPECIFICATIONS. ALL EXISTING STATIONING SHALL BE IN ACCORDANCE WITH SAFETY SLABS ARE REQUIRED IN ALL STRUCTURES GREATER THAN 12' IN HEIGHT.
9. SURFACE DRAINAGE: COMPLETELY DRAIN CONSTRUCTION SITE DURING PERIODS OF CONSTRUCTION TO KEEP SURFACES SUFFICIENTLY FIRM TO SUPPORT HEAVY TRAFFIC. TEMPORARY EROSION CONTROL FEATURES AND EQUIPMENT AS REQUIRED TO MAINTAIN DRY SOILS. WHEN UNSUITABLE WORKING PLATFORMS FOR EQUIPMENT OPERATION AND UNSUITABLE SOIL SUPPORT FOR SUBSEQUENT CONSTRUCTION FEATURES DEVELOP, PROVIDE A SUITABLE WORKING PLATFORM AND PROVIDE NEW SOIL MATERIAL AS SPECIFIED IN THIS SECTION AT NO ADDITIONAL COST TO THE OWNER.
10. SUBSURFACE DRAINAGE: CONSIDER SITE SURFACE AND SUBSURFACE CONDITIONS, AVAILABLE SOIL, AND SUBSURFACE DRAINAGE SYSTEMS. PROVIDE DRAINAGE SUPPLEMENTARY TO THE SUPPLY OF WATER METHODS TO PREVENT SOFTENING OF SURFACES EXPOSED BY EXCAVATION. USE FILTERS ON DEWATERING DEVICES TO PREVENT REMOVAL OF FINES FROM SOIL. PROVIDE EROSION CONTROL AT OUTLET OF PIPING TO PREVENT SOIL FROM ENTERING DRAINAGE SYSTEM CONTINUOUSLY UNTIL CONSTRUCTION WORK BELOW EXISTING WATER LEVELS IS COMPLETE.
11. ALL PAVING, DRAINAGE RELATED MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO CURRENT ALBERMARLE COUNTY STANDARD AND SPECIFICATIONS UNLESS OTHERWISE SPECIFIED.
12. ALL PIPES SHOWN AS HDPE ON PLANS SHALL CONFORM TO AASHTO M294 (TYPE S) SMOOTH WALL INTERIOR PIPE, MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH VDOT ROAD AND BRIDGE STANDARDS AND AASHTO M294.
13. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROVIDED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL PLAN AND SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING OR OTHER CONSTRUCTION.
14. ALL SLOPES AND ALL EXPOSED EARTH SURFACES SHALL BE REVEGETATED, SEEDING AND MULCHING. THE MAXIMUM ALLOWABLE SLOPE FOR ALL EXPOSED EARTH SURFACES SHALL BE REASONABLY OBTAINABLE, LESSER SLOPES OF 3:1 OR BETTER ARE TO BE ACHIEVED.
15. SLOPE PROTECTION (HORIZONTAL/VERTICAL) SHALL BE REASONABLY OBTAINABLE, LESSER SLOPES OF 3:1 OR BETTER ARE TO BE ACHIEVED.
16. ALL EXCAVATION CONTROL SIGNS SHALL CONFORM WITH THE CURRENT EDITION OF THE "MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES" AND THE VIRGINIA SUPPLEMENT.
17. ALL EXCAVATION FOR UNDERGROUND PIPE INSTALLATION MUST COMPLY WITH OSHA STANDARDS FOR THE CONSTRUCTION INDUSTRY (29 CFR PART 1926).
18. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING WORK INCLUDING EXISTING TOPOGRAPHY. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION DRAWINGS OR TOPOGRAPHIC SURVEY PLAN, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER IN WRITING OF THE DISCREPANCY. IF THE DISCREPANCY IS NOT A MAJOR DISCREPANCY, FAILING TO NOTIFY THE OWNER AND SECURING SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT THEIR OWN RISK AND EXPENSE.
19. THE CONTRACTOR SHALL OBTAIN ACCESS TO ALL UTILITIES AND HANDICAPPED RAMPS SHALL COMPLY WITH THE "2010 ADA STANDARDS FOR ACCESSIBLE DESIGN" ISSUED BY THE DEPARTMENT OF JUSTICE ON SEP. 15, 2010, OR THE LATEST EDITION. HANDICAPPED PARKING AND ACCESSIBLE ROUTES SHALL NOT EXCEED 2% SLOPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THESE PLANS AND AS REQUIRED TO MEET THE LATEST ADA STANDARDS AT NO ADDITIONAL COST TO THE OWNER.



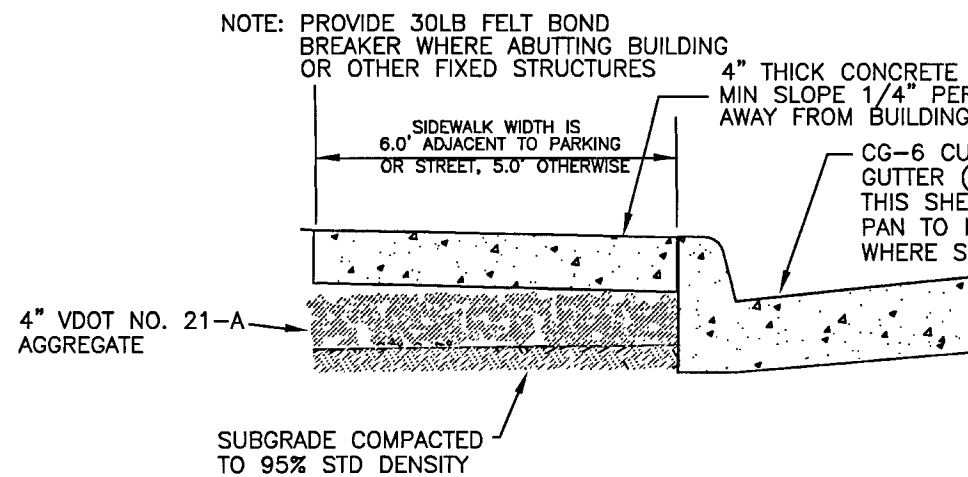
SPEED HUMP DETAIL

NTS



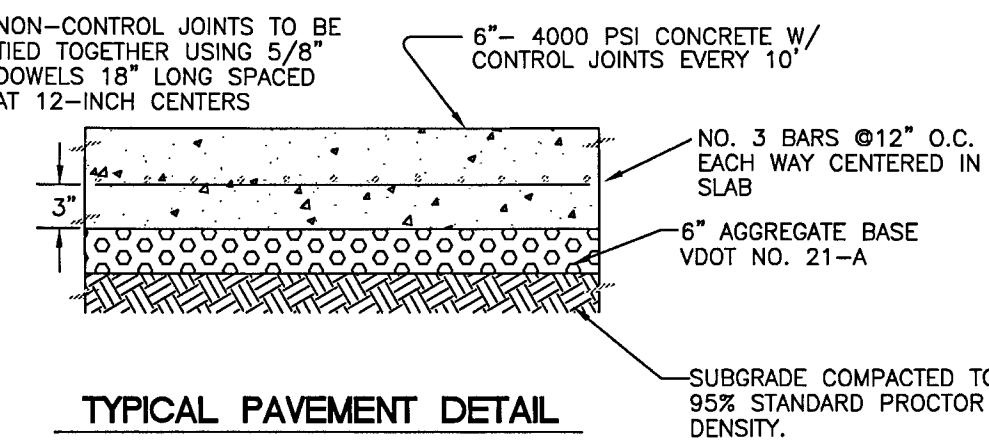
COMBINATION 6" CURB AND GUTTER (CG-6)

NOT TO SCALE



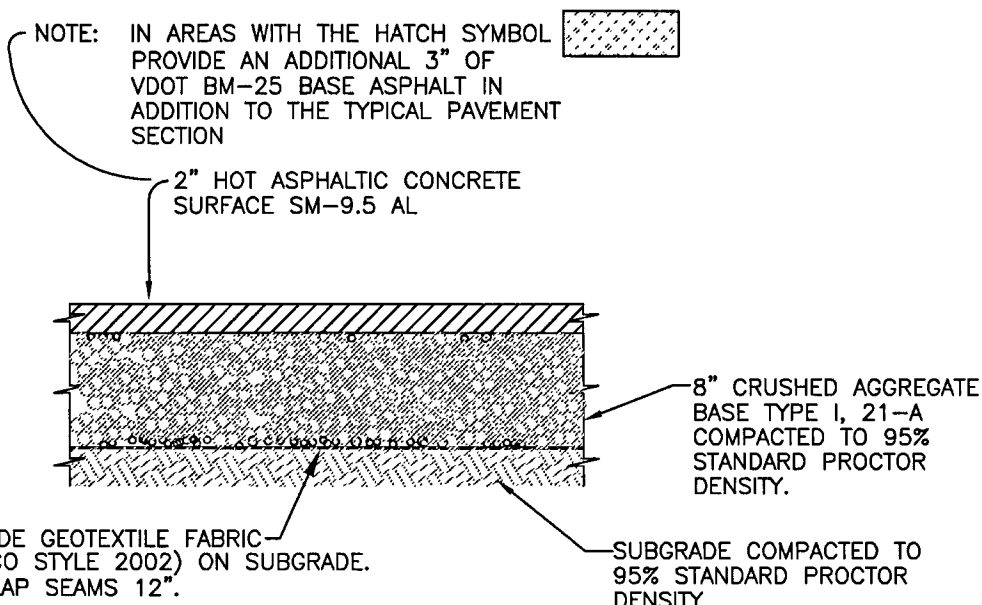
TYPICAL SIDEWALK DETAIL

NOT TO SCALE



TYPICAL PAVEMENT DETAIL
FOR CONCRETE DUMPSTER PAD

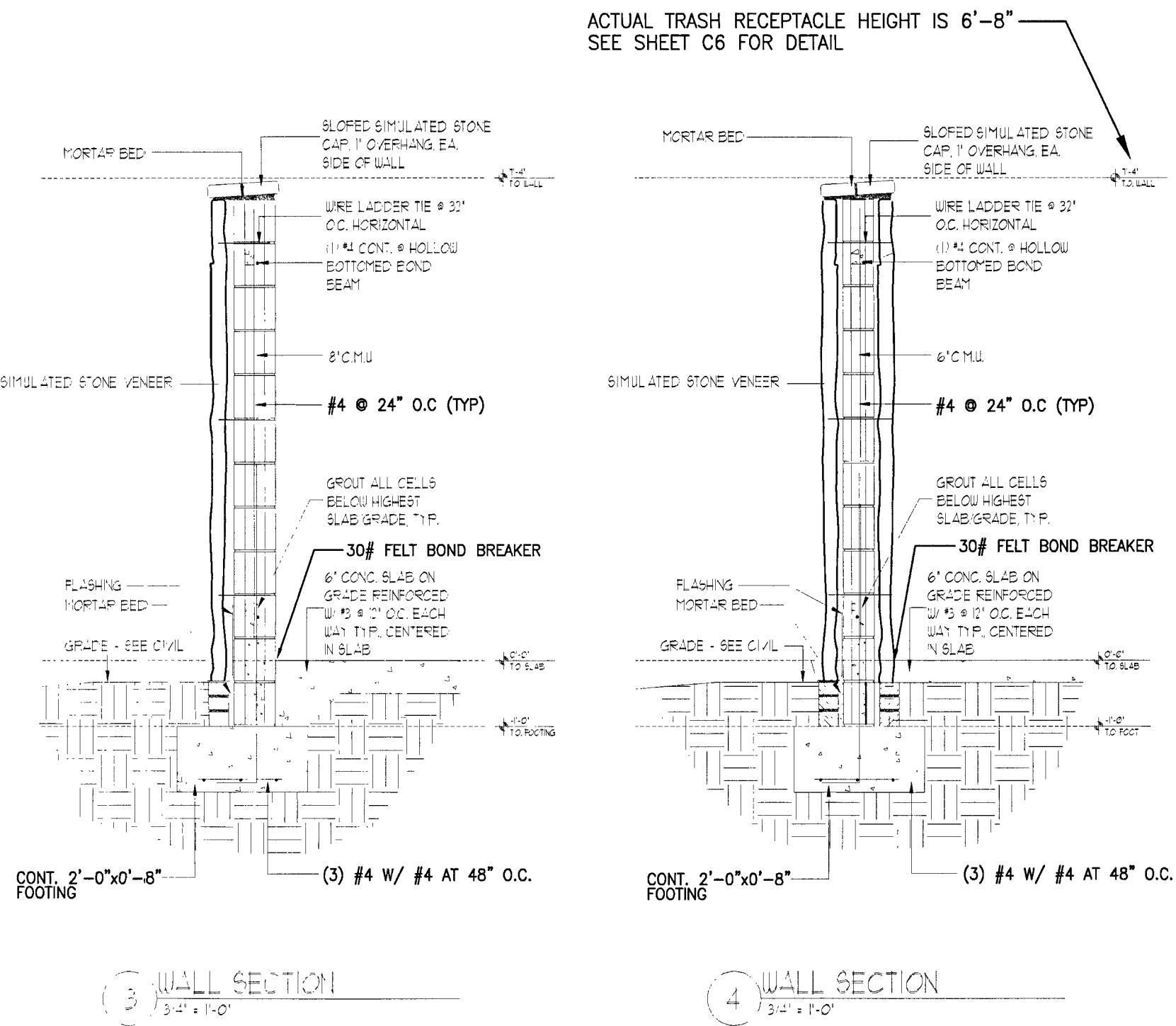
NOT TO SCALE



TYPICAL PAVEMENT DETAIL

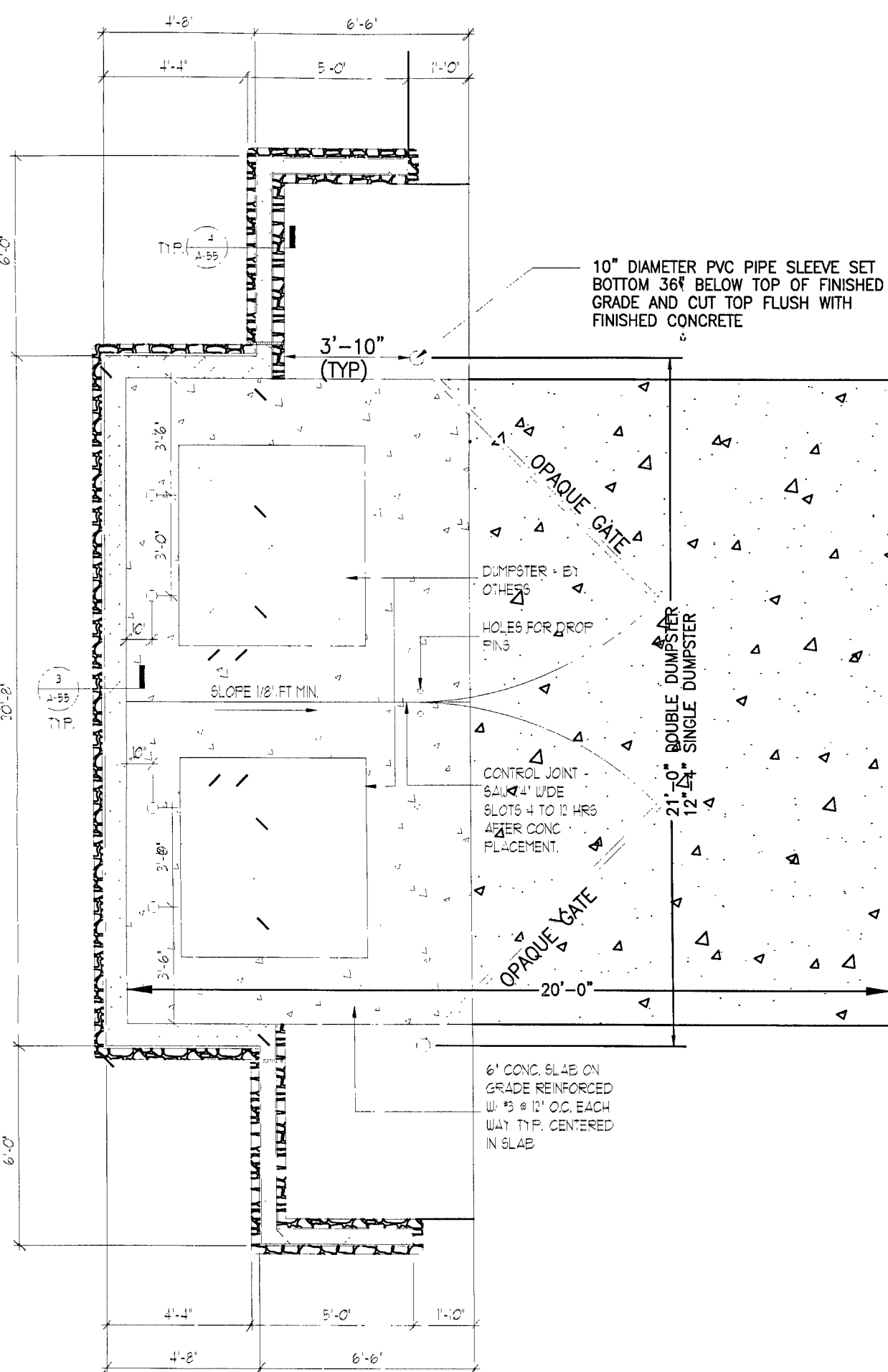
FOR INTERIOR DRIVES AND PARKING

NOT TO SCALE



DETAIL OF ACCESSIBLE DUMPSTER PAD

NOT TO SCALE



DETAIL OF ACCESSIBLE DUMPSTER PAD

NOT TO SCALE

COMMONWEALTH OF VIRGINIA BRUCE T. HAMRICK, Jr. LICENSE No. 10000 Seal State of Virginia Professional Engineer	DATE REV. No. DESCRIPTION
THE VUE WHITEHALL DISTRICT ALBEMARLE COUNTY, VIRGINIA	PROJECT NOTES AND DETAILS
JOB No. BWH NO. 02-0206 SCALE NOT TO SCALE DATE NOVEMBER 20, 2015 SHEET NO. C2 OF C16	THE VUE WHITEHALL DISTRICT ALBEMARLE COUNTY, VIRGINIA



PLOTTED 02-21-16
JOB No. BWH NO. 02-0206
SCALE 1" = 50'
DATE NOVEMBER 20, 2015
SHEET No. C4 OF C16

THE VUE
WHITEHALL DISTRICT
ALBEMARLE COUNTY, VIRGINIA

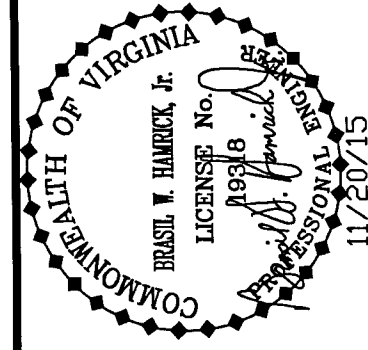
TOPOGRAPHIC SURVEY

HE **HAMRICK**
ENGINEERING, P.C.

Land Planning • Public Works • Environmental
Breslin W. Hamrick, Jr., P.E.

156 Laurel Hill Road
Route 612 East
Verona, VA 24482

540-248-7407
bw@hens@verizon.net

[illegible]

PARKING ANALYSIS		
BUILDING USE:	MULTI FAMILY RESIDENTIAL	
SPACES REQUIRED:	1.5 SPACES PER 1 BED ROOM UNIT 2.0 SPACES PER 2 BED ROOM UNIT	
TOTAL NUMBER OF 1 BED ROOM UNITS = 54		
TOTAL NUMBER OF 2 BED ROOM UNITS = 72		
TOTAL SPACES REQUIRED: (1.5 x 54) + (2.0 x 72) = 225		
SPACES PROVIDED:	SPACES DELINEATED =	218
	H.C. PER ADA =	<u>7</u>
	TOTAL PROVIDED =	225
ALL SPACES ARE 9'x18' UNLESS OTHERWISE NOTED		



PLOTTED 02-21-16

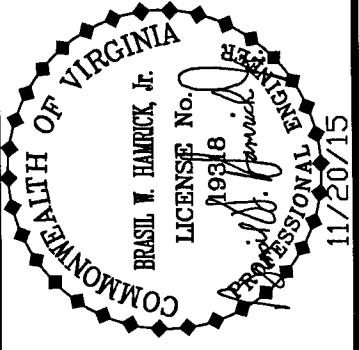
JOB No.	BWH NO. 02-0206
SCALE	1" = 50'
DATE	NOVEMBER 20, 2015
SHEET No.	C5 OF C16

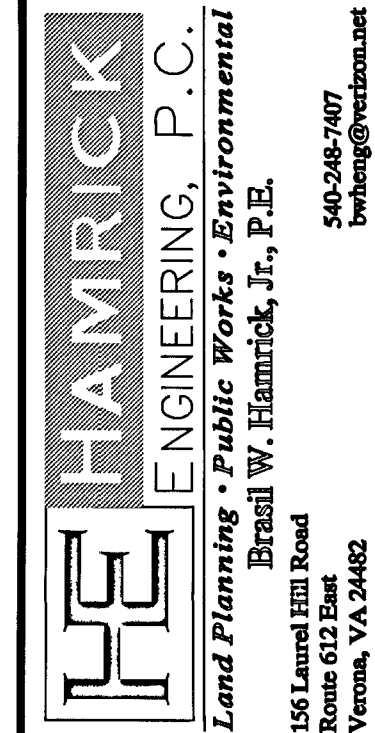
THE VUE
WHITEHALL DISTRICT
ALBEMARLE COUNTY, VIRGINIA

SITE LAYOUT AND
DIMENSION PLAN

HE HAMRICK
ENGINEERING, P.C.
Land Planning • Public Works • Environmental
Bristol W. Hamrick, Jr., P.E.
156 Laurel Hill Road
P.O. Box 12
Verona, VA 24482
540.248.2407
bwheng@vericon.net

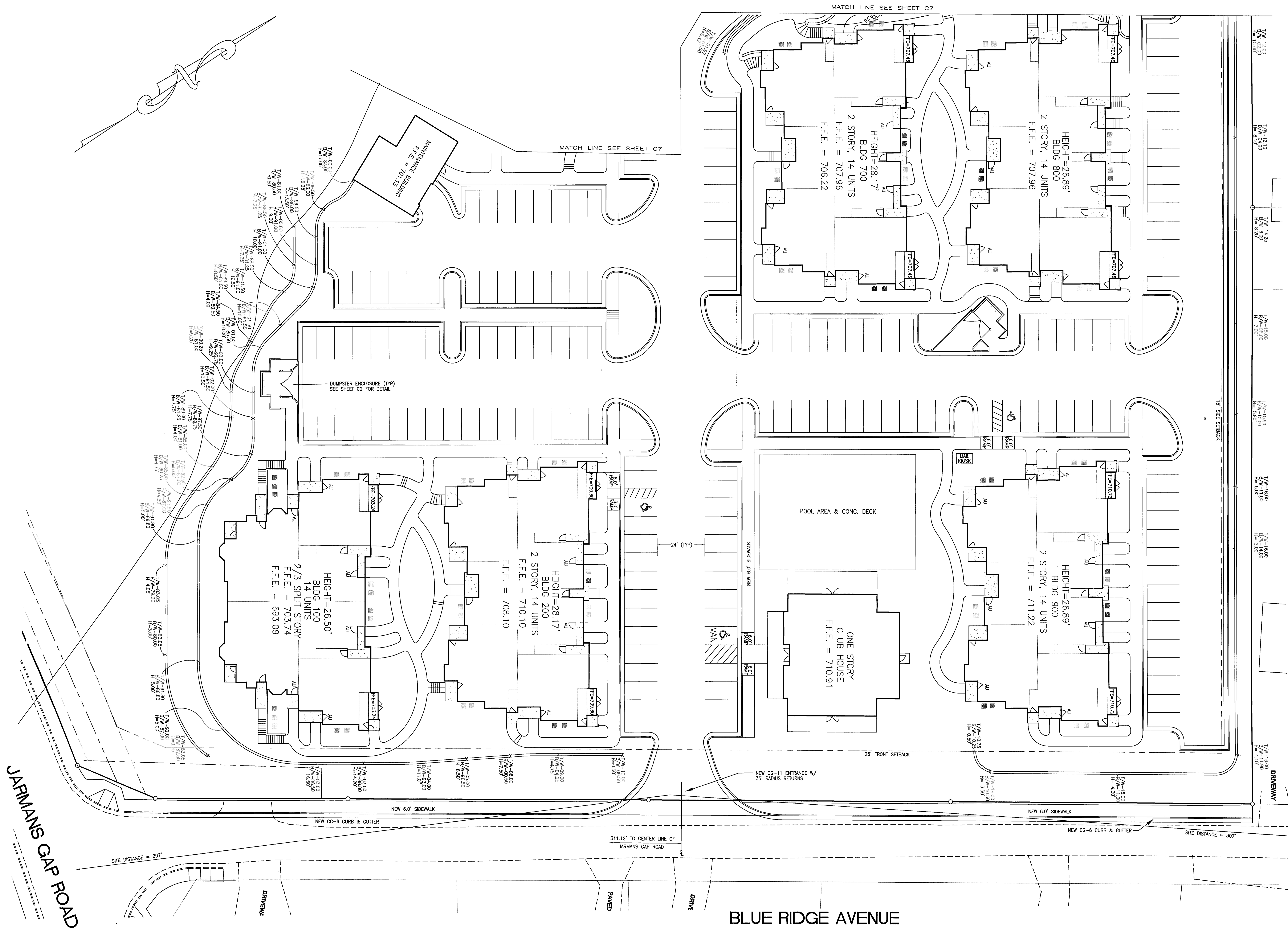
DATE	REV. No.	DESCRIPTION





THE VUE
WHITEHALL DISTRICT
ALBEMARLE COUNTY, VIRGINIA

PLOTTED 02-21-16
 JOB No. BWL NO. 02-0206
 SCALE 1" = 20'
 DATE NOVEMBER 20, 2015
 SHEET No. C6 OF C16





MATCH LINE SEE SHEET 06

PLOTTED 02-21-16

JOB No. BWH NO. 02-0206

SCALE 1" = 20'

DATE NOVEMBER 20, 2015

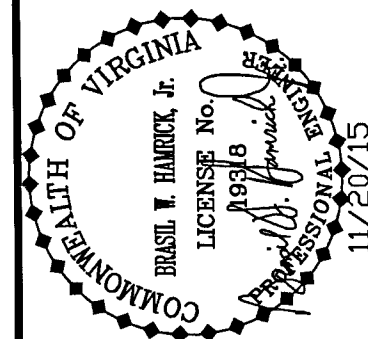
SHEET No. 07 OF C16

THE VUE
WHITEHALL DISTRICT
ALBEMARLE COUNTY, VIRGINIA

SITE LAYOUT AND
DIMENSION PLAN

PE HAMRICK
ENGINEERING, P.C.
Land Planning • Public Works • Environmental
Basil W. Hamrick, Jr., P.E.
258 Laurel Hill Road
Farmingdale, VA 24482
540-246-2407
bwh@pehamrick.com

DATE	REV. No.	DESCRIPTION



45



PLOTTED 02-21-16

JOB No. BWH NO. 02-0206

SCALE 1" = 50'

DATE NOVEMBER 20, 2015

SHEET No. 08 OF 016

THE VUE
WHITEHALL DISTRICT
ALBEMARLE COUNTY, VIRGINIA

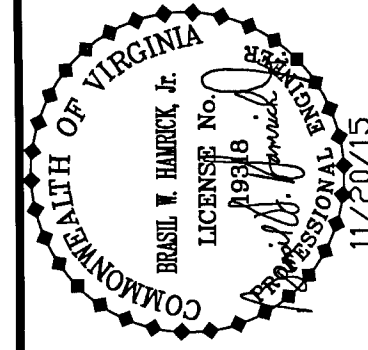
SITE GRADING PLAN

HE HAMRICK
ENGINEERING, P.C.
Land Planning • Public Works • Environmental
Ernest W. Hamrick, Jr., P.E.
186 Laurel Hill Road
Box 612 P.O. Box
Verona, VA 24482
540.248.2407
bwheng@vericon.net

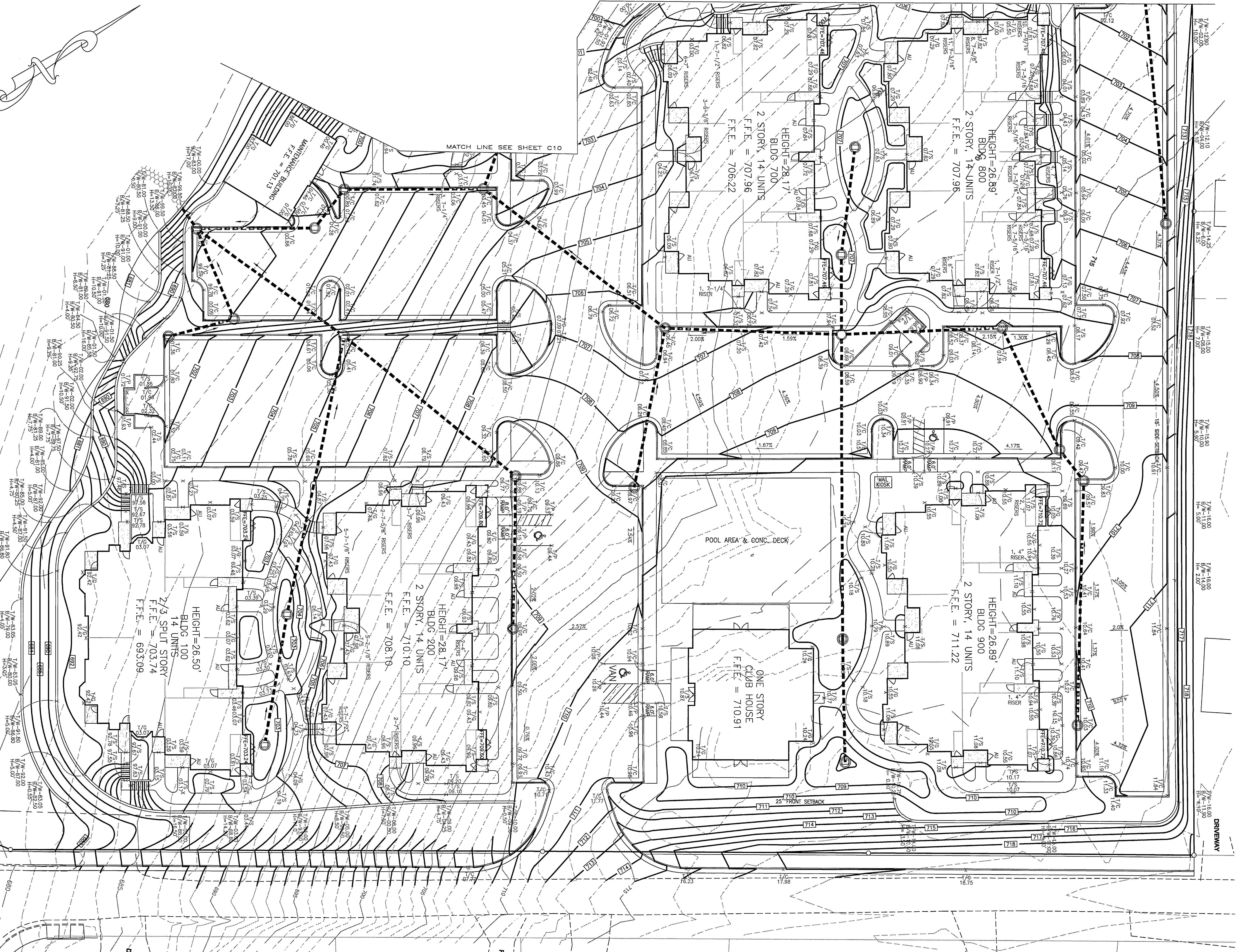
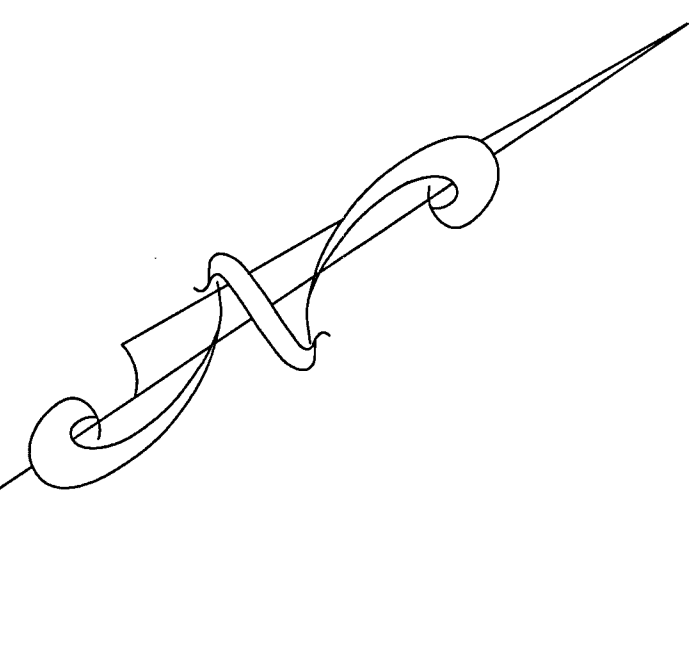
DATE

REV. No.

DESCRIPTION



JARMANS GAP ROAD



BLUE RIDGE AVENUE

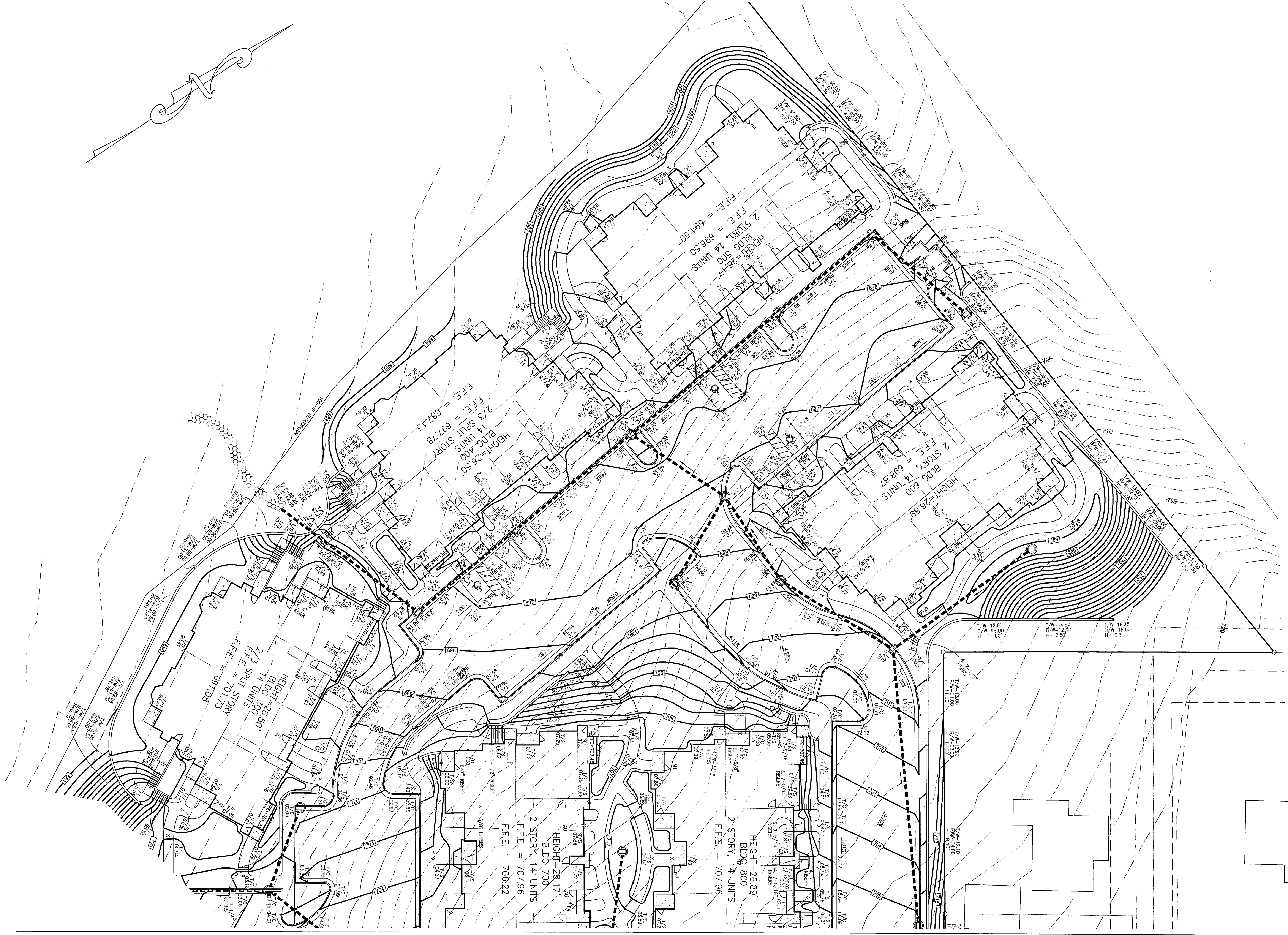
THE VUE
WHITEHALL DISTRICT
ALBEMARLE COUNTY, VIRGINIA

SITE GRADING PLAN

HE HAMRICK
ENGINEERING, P.C.
Land Planning • Public Works • Environmental
Brad W. Hamrick, Jr., P.E.
155 Laurel Hill Road
Box 102 Box
Verona, VA 24482
540-548-7407
bwh@vericon.net

DATE	REV. No.	DESCRIPTION

COMMISSION OF VIRGINIA
BRAD W. HAMRICK, JR.
LICENSE No. 19916
Professional Seal



PLOTTED 02-21-16

JOB No. BWH NO. 02-0206

SCALE 1" = 20'

DATE NOVEMBER 20, 2015

SHEET No. C10 OF C16

THE VUE
WHITEHALL DISTRICT
ALBEMARLE COUNTY, VIRGINIA

SITE GRADING PLAN

PE HAMRICK
ENGINEERING, P.C.
Land Planning • Public Works • Environmental
Brasill W. Hamrick, Jr., P.E.
156 Laurel Hill Road
Route 612 East
Verona, VA 24482
540.246-7407
bwheng@verizon.net

COMMONWEALTH OF VIRGINIA
BRASILL W. HAMRICK, JR.
LICENSE No. 19816
Professional Engineer
11/20/15

DATE

REV. No.

DESCRIPTION



SEE SHEET C3 FOR COMPLETE BOUNDARY



POWELL'S CREEK

JARMAN'S GAP ROAD

BLUE RIDGE AVENUE

PLOTTED 02-21-16

JOB No. BWH NO. 02-0206

SCALE 1" = 50'

DATE NOVEMBER 20, 2015

SHEET No. C11 OF C16

THE VUE
WHITEHALL DISTRICT
ALBEMARLE COUNTY, VIRGINIA

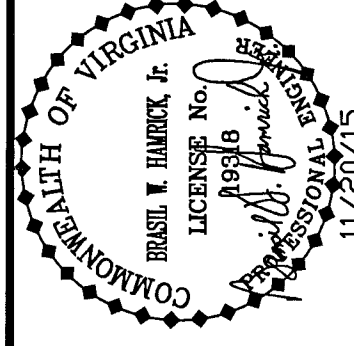
SITE UTILITY PLAN

HAMRICK
ENGINEERING, P.C.
Land Planning • Public Works • Environmental
Basil W. Hamrick, Jr., P.E.
155 Laurel Hill Road
P.O. Box 100
Verona, VA 24482
540-248-7407
bwh@vericon.net

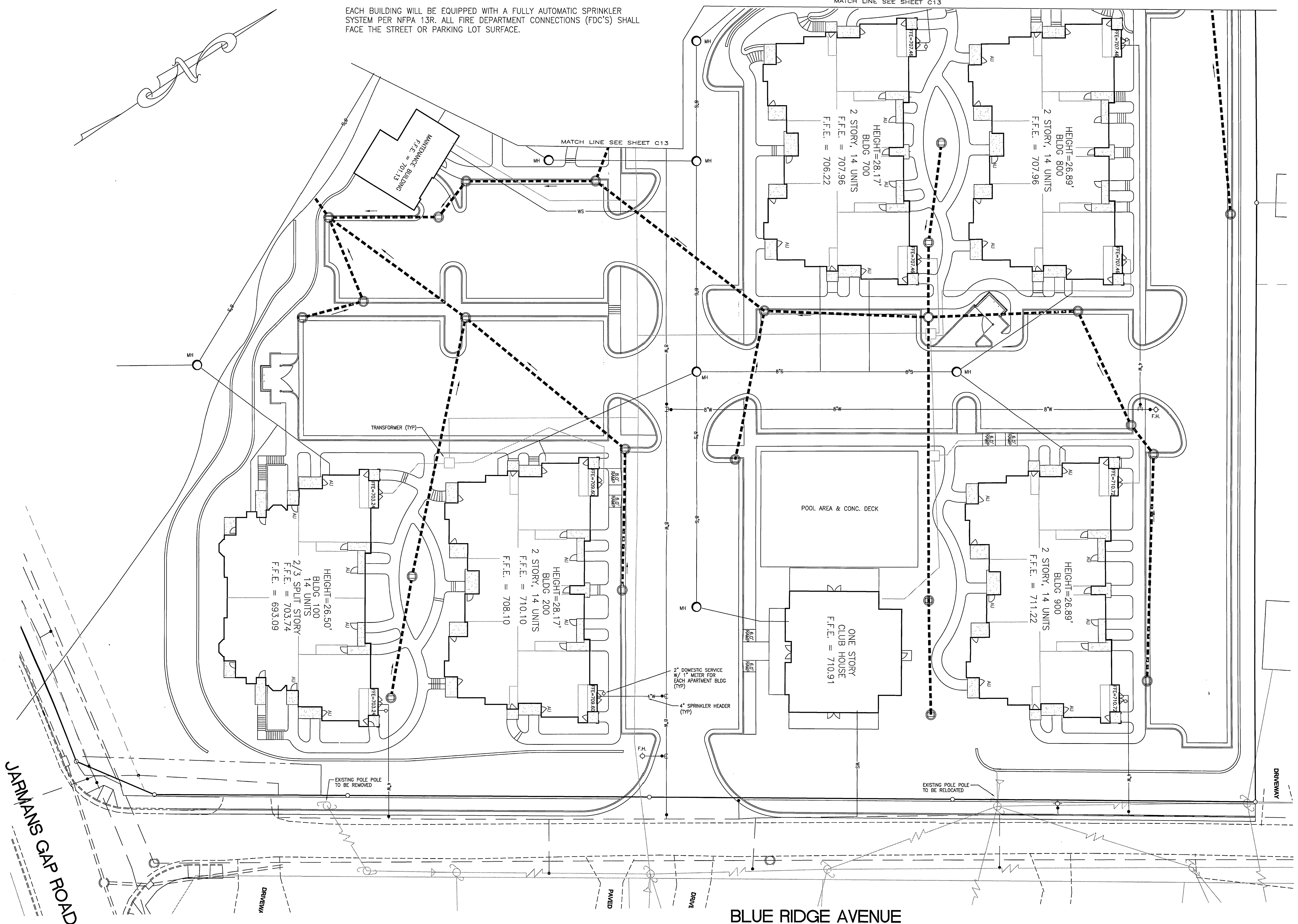
DESCRIPTION

REV. No.

DATE



JARMANS GAP ROAD



EACH BUILDING WILL BE EQUIPPED WITH A FULLY AUTOMATIC SPRINKLER SYSTEM PER NFPA 13R. ALL FIRE DEPARTMENT CONNECTIONS (FDC'S) SHALL FACE THE STREET OR PARKING LOT SURFACE.

MATCH LINE SEE SHEET C13

MATCH LINE SEE SHEET C13

BLUE RIDGE AVENUE

PLOTTED 02-21-16

JOB No. BWH NO. 02-0206

SCALE 1" = 20'

DATE NOVEMBER 20, 2015

SHEET No. C12 OF C16

THE VUE
WHITEHALL DISTRICT
ALBEMARLE COUNTY, VIRGINIA

SITE UTILITY PLAN

HE HAMRICK
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Land Planning • Public Works • Environmental
Brasili W. Hamrick, Jr., P.E.
565 Laurel Hill Road
PO Box 612
Verona, VA 24482
434-948-2107
bwh@hehamrick.net

COMMONWEALTH OF VIRGINIA
BRASILI W. HAMRICK, JR.
LICENSE No. 10918
Professional Engineer
11/20/15

DATE

REV. No.

DESCRIPTION



EACH BUILDING WILL BE EQUIPPED WITH A FULLY AUTOMATIC SPRINKLER SYSTEM PER NFPA 13R. ALL FIRE DEPARTMENT CONNECTIONS (FDC'S) SHALL FACE THE STREET OR PARKING LOT SURFACE.

THE VUE
WHITEHALL DISTRICT
ALBEMARLE COUNTY, VIRGINIA

SITE UTILITY PLAN

PE HAMRICK
ENGINEERING, P.C.
Land Planning • Public Works • Environmental
Brent W. Hamrick, Jr., P.E.
155 Laurel Hill Road
Room 612 East
Verona, VA 24482
540-248-7407
bwh@pehamrick.com

COMMONWEALTH OF VIRGINIA
BRENT W. HAMRICK, Jr.
LICENSE No. 199316
Professional Engineer
11/28/15

DATE	REV. No.	DESCRIPTION



- PLANT LIST**

LARGE STREET AND SHADE TREES

SCIENTIFIC NAME	COMMON NAME
ACER RUBRUM 'RED SUNSET'	RED MAPLE
BETULA NIGRA 'HERITAGE'	RIVER BIRCH
CARYA OVATA	SHAGBARK HICKORY
CERCIDIPHYLLUM JAPONICUM	KATSURATREE
CLADRASTIS KENTUCKEA 'ROSEA'	YELLOW WOOD
FAGUS GRANDIFOLIA	AMERICAN BEECH
GINKGO BILOBA 'MAYAR'	GINKGO
LIQUIDAMBAR STYRACIFLUA	SWEETGUM
NYSSA SYLVATICA	BLACKGUM
PLATANUS X ACERIFOLIA	LONDON PLANETREE
QUERCUS ACCUTISSIMA	SAW TOOTH OAK
QUERCUS BICOLOR	SWAMP WHITE OAK
QUERCUS PHELLOS	WILLOW OAK
ULMUS PARVIFOLIA 'ALLEE'	LACEBARK BM
- EVERGREEN SCREEN TREES**

SCIENTIFIC NAME	COMMON NAME
CRYPTOMERIA JAPONICA	JAPANESE CRYPTOMERIA
LLEX OPACA	AMERICAN HOLLY
JUNIPERIS VIRGINIANA	EASTERN RED CEDAR
MYRICA CERIFERA	SOUTHERN WAX MYRTLE
PINUS STROBUS	WHITE PINE
THUJA OCCIDENTALIS	EASTERN ARBORVITAE
- UNDERSTORY/SMALL FLOWERING TREES**

SCIENTIFIC NAME	COMMON NAME
ACER GRiseum	PAPERBARK MAPLE
AMELANCHIER X GRANDIFLORA	SERVICEBERRY
CERCIS CANADENSIS 'FOREST PANSY'	EASTERN REDBUD
CORNUS KOUSA 'CONSTELLATION'	KOUSA DOGWOOD
CORNUS FLORIDA 'CHEROKEE PRINCESS'	FLOWERING DOGWOOD
LIQUIDAMBAR STYRACIFLUA	SWEETGUM
MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA
OXYDENDRON ARBOREUM 'CHAMELEON'	SOURWOOD
SASSAPARILLA ALBIDUM	SASSAPARILLA
STEWARTIA KOREANA	KOREAN STEW ARTIA
CARPINUS CAROLINIANA	IRONWOOD
CRONANTHIS VIRGINICUS	WHITE FRINGETREE

- PLANT LEGEND**
- LARGE STREET TREE
 - EVERGREEN SCREEN TREE
 - LARGE SHADE TREE
 - SMALL FLOWERING TREE



JOB No. BWH NO. 02-0206
SCALE 1" = 50'
DATE NOVEMBER 20, 2015
SHEET No. C14 OF C16

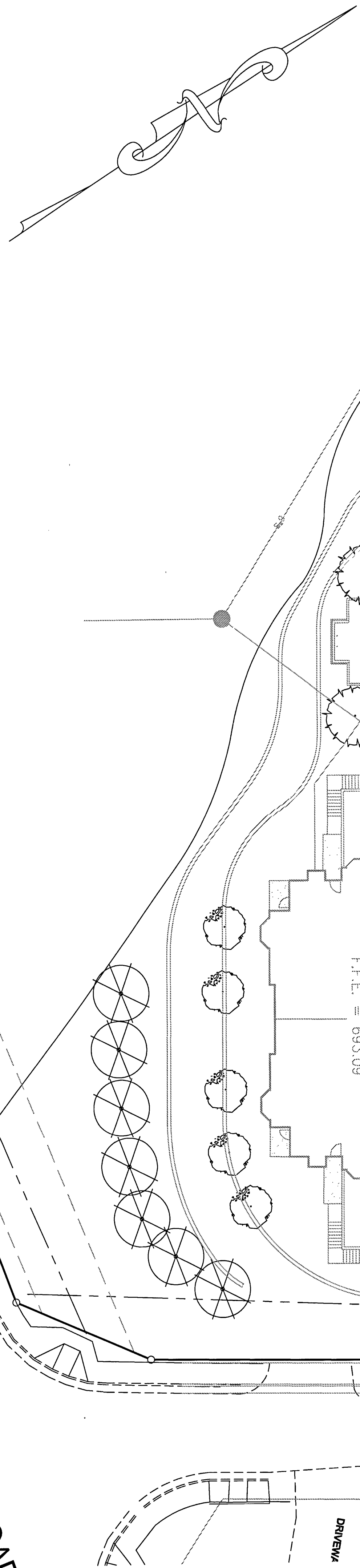
THE VUE
WHITEHALL DISTRICT
ALBEMARLE COUNTY, VIRGINIA

SITE LANDSCAPE PLAN

PE HAMRICK
ENGINEERING, P.C.
Land Planning • Public Works • Environmental
Basil W. Hamrick, Jr., P.E.
156 Luma Hill Road
Route 612 East
Verona, VA 24482
540-248-7407
bwh@pehamrick.net

DATE REV. No. DESCRIPTION
PLOTTED 11-20-15
COMMONWEALTH OF VIRGINIA
BASIL W. HAMRICK, JR.
LICENSE No. 10936
11/20/15

JARMANS GAP ROAD



DRIVEWAY

PAVED

DRIVE

BLUE RIDGE AVENUE

POOL AREA & CONC. DECK

ONE STORY
CLUB HOUSE
F.F.E. = 710.91

HEIGHT=26.89'
BLDG 900
2 STORY, 14 UNITS
F.F.E. = 711.22

HEIGHT=26.89'
BLDG 800
2 STORY, 14 UNITS
F.F.E. = 707.96

HEIGHT=28.17'
BLDG 700
2 STORY, 14 UNITS
F.F.E. = 707.96

F.F.E. = 706.22

HEIGHT=28.17'
BLDG 200
2 STORY, 14 UNITS
F.F.E. = 710.10

F.F.E. = 708.10

HEIGHT=26.50'
BLDG 100
2/3 SPLIT STORY
F.F.E. = 703.74
F.F.E. = 693.09

MAINTENANCE BUILDING
F.F.E. = 701.13

MATCH LINE SEE SHEET C16

MATCH LINE SEE SHEET C16

15' SIDE SETBACK

DRIVEWAY

PLOTTED 02-21-16

JOB No. BWH NO. 02-0206

SCALE 1" = 20'

DATE NOVEMBER 20, 2015

SHEET No. C15 OF C16

THE VUE
WHITEHALL DISTRICT
ALBEMARLE COUNTY, VIRGINIA

SITE LANDSCAPE PLAN

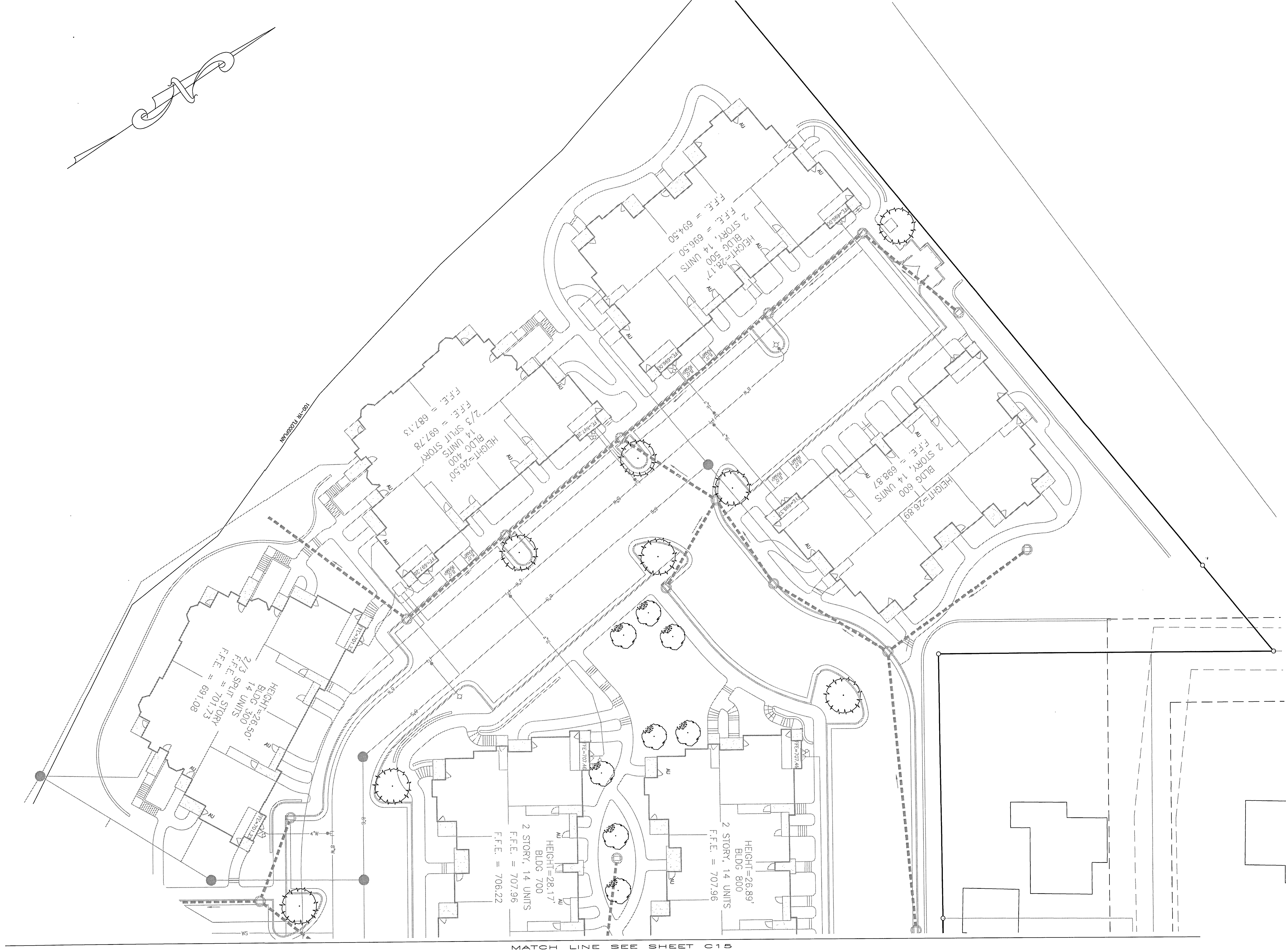
HE HAMRICK
ENGINEERING, P.C.
Land Planning • Public Works • Environmental
Brasil W. Hamrick, Jr., P.E.
156 Laurel Hill Road
Roanoke, VA 24060
540-248-7407
brasil@hehamrick.net

DATE

REV. No.

DESCRIPTION

COMMONWEALTH OF VIRGINIA
BRASIL W. HAMRICK, Jr.
LICENSE No. 00916
Professional Engineer
11/20/15



PLOTTED 02-21-16

JOB No. BWH NO. 02-0206

SCALE 1" = 20'

DATE NOVEMBER 20, 2015

SHEET No. C16 OF C16

THE VUE
WHITEHALL DISTRICT
ALBEMARLE COUNTY, VIRGINIA

SITE LANDSCAPE PLAN

PE HAMRICK ENGINEERING, P.C.
Land Planning • Public Works • Environmental
Brasil W. Hamrick, Jr., P.E.
155 Laurel Hill Road
Route 612 East
Verona, VA 24462
540-248-7407
bwh@pehamrick.net

DESCRIPTION

REV. No.

DATE

