

CLAUDIUS CROZET PARK RECREATION CENTER

INITIAL SITE PLAN

SDP2023-00

WHITEHALL DISTRICT
ALBEMARLE COUNTY, VIRGINIA

GENERAL NOTES

OWNER/DEVELOPER:	CLAUDIUS CROZET PARK, INC. BOX 171 CROZET, VA 22932																																				
ENGINEER:	COLLINS ENGINEERING 200 GARRETT ST, SUITE K CHARLOTTESVILLE, VA 22902 (434)293-3719																																				
TAX MAP NO.:	56A2-01-72 (RA), 56A2-01-72A (RA), & 56A2-04-0A4(R-6)																																				
ZONING:	RURAL AREA WITH SPECIAL USE PERMITS (SP-95-43 & SP202000016) & R-6 ZONING. NOTE, THE PROPERTY SUBJECT TO TWO SPECIAL EXCEPTIONS APPROVED BY THE BOS IN ASSOCIATION WITH SDP2018-00077 AND THESE SPECIAL EXCEPTIONS ARE NOT BEING MODIFIED WITH THIS APPLICATION. THE PROPERTY TMP56A2-04--A4 IS LOCATED WITHIN THE ENTRANCE CORRIDOR OVERLAY DISTRICT AND SHALL COMPLY WITH THE REQUIREMENTS EC OVERLAY REQUIREMENTS. PROPERTY 56A2-01-72 & 56A2-01-72A IS LOCATED WITHIN THE MANAGED AND PRESERVED SLOPES OVERLAY DISTRICT AND SHALL WITH THE DISTRICT REQUIREMENTS.																																				
PROFFERS:	SEE ALBEMARLE COUNTY PLANNING DEPARTMENT LETTERS FOR APPROVED SPECIAL USE PERMIT SP-95-43 & SP202000016.																																				
PROJECT AREA:	0.41 AC 56A2-04-0A4 10.73 AC 56A2-01-72 <u>11.67 AC 56A2-01-72A</u> 22.81 AC.																																				
PROPERTY SURVEY:	SURVEY AND TOPOGRAPHY PROVIDED BY KIRK HUGHES & ASSOCIATES, LAND SURVEYORS AND PLANNERS. SURVEY WAS UPDATED IN JANUARY 2019, AND FIELD CONDITIONS HAVE BEEN VERIFIED BY COLLINS ENGINEERING IN JANUARY 2023.																																				
VERTICAL DATUM:	THE TEMPORARY BENCHMARK IS A NAIL SET IN A UTILITY POLE AS SHOWN ON THE DRAWINGS. ASSUMED ELEVATION=500.00'.																																				
HORIZONTAL DATUM:	MAGNETIC NORTH AS SHOWED ON A PLAT OF JOHN MCNAIR AND ASSOCIATES, DATED AUGUST 24, 1958, AND RECORDED BY D.B. 343, PG. 382A.																																				
WATERSHED:	PROJECT SITE IS LOCATED WITHIN THE SOUTH RIVANNA WATER RIVERSHED.																																				
EXISTING USE:	URBAN COMMUNITY PARK WITH A POOL, GRASS RECREATIONAL FIELDS, COMMUNITY CENTER, BASKETBALL COURTS, TENNIS COURTS, SOCCER FIELD, AND BASEBALL/SOFTBALL FIELDS.																																				
PROPOSED USE:	URBAN COMMUNITY PARK. THIS APPLICATION IS FOR THE CONSTRUCTION OF A COMMUNITY RECREATION FACILITY, INCLUDING EXERCISE AREA & COMMUNITY MEETING ROOM. 34,200 +/- GSF (INC. 20,250 EXERCISE AREA & 1,620 MEETING ROOM) & 8 LANE INDOOR POOL (12,600 SF)																																				
SITE ACCESS:	ACCESS TO THE PROPERTY AND RECREATION CENTER IS FROM PARK ROAD, WITH A SECOND ACCESS POINT ON PARK ROAD AND THIRD ACCESS FROM INDIGO ROAD.																																				
STEEP SLOPES:	THERE ARE EXISTING PRESERVED AND MANAGED STEEP SLOPES ON THE PROJECT SITE, SEE SHEET 2. THESE SLOPES WILL NOT BE IMPACTED WITH THE PROPOSED DEVELOPMENT.																																				
OFFSITE DISTURBANCE:	NONE																																				
PHASING	THE PROJECT WILL BE CONSTRUCTED IN 1 PHASE.																																				
FLOODPLAIN/WPO BUFFERS:	THERE IS NO 100-YEAR FLOODPLAIN LOCATED ON THIS SITE PER FEMA MAP PANEL #51003C0229D DATED FEBRUARY 4, 2005. THERE IS A WPO BUFFER ON THE SITE, AS SHOWN ON SHEET 2 AND SHEET 3 OF THE INITIAL SITE, PER ALBEMARLE COUNTY GIS MAPPING. ALSO NOTE THE PARCEL IS OUTSIDE THE LIMITS OF THE FEDERAL & STATE DAM BREAK INUNDATION ZONES PER COUNTY GIS DATA.																																				
SETBACKS:	75' MINIMUM FRONT SETBACK FROM EXISTING PUBLIC STREETS 25' MINIMUM SIDE YARD SETBACK 35' MINIMUM REAR YARD SETBACK																																				
BUILDING HEIGHT:	35' MAXIMUM BUILDING HEIGHT. PROPOSED BUILDING HEIGHT = 32' (2 STORY BLDG)																																				
LIGHTING PLAN:	A LIGHTING PLAN WILL BE PROVIDED WITH THE FINAL SITE PLAN FOR THE BUILDING AND PARKING LOT LIGHTING. THE EXISTING PARKING LOT LIGHTING WILL BE MODIFIED WITH THE FINAL SITE PLAN. LIGHTING SHALL COMPLY WITH THE ALBEMARLE COUNTY ZONING ORDINANCE.																																				
ESTIMATED EMPLOYEES:	IT IS ANTICIPATED THAT APPROXIMATELY 15 EMPLOYEES WILL BE NEEDED AT THE LARGEST SHIFT FOR THE PROPOSED RECREATION CENTER.																																				
BUILDING SEPARATION:	BUILDING SEPARATION SHALL BE IN ACCORDANCE WITH CURRENT BUILDING CODES AND FIRE SAFETY REQUIREMENTS.																																				
PARKING REQUIRED:	<table><tr><th>FACILITY</th><th>BASIS FOR CALCULATION</th><th>REQUIRED PARKING SPACES</th></tr><tr><td>FITNESS FACILITY</td><td>1 / 125 SF x (18,623 SF)</td><td>149 SPACES</td></tr><tr><td>SWIMMING POOL (IN)</td><td>1 / s.f.w.s. x 6228 SF</td><td>50 SPACES</td></tr><tr><td>SWIMMING POOL (OUT)</td><td>1 / S.F.W.S. X 6414 SF</td><td>51 SPACES</td></tr><tr><td>BASEBALL FIELDS</td><td>20 / FIELD x 3 FIELDS</td><td>60 SPACES</td></tr><tr><td>BASKETBALL COURTS</td><td>2 / BASKET x 16 BASKETS</td><td>32 SPACES</td></tr><tr><td>SOCCER FIELD</td><td>24 / FIELD x 1 FIELD</td><td>24 SPACES</td></tr><tr><td>TENNIS COURTS</td><td>2 / COURT X 3 COURTS</td><td>6 SPACES</td></tr><tr><td colspan="3">TOTAL PARKING REQUIRED = 372 SPACES</td></tr><tr><td colspan="3">10% REDUCTION FOR URBAN PARK = 380 SPACES - 38 SPACES = 338 SPACES</td></tr><tr><td colspan="3">PARKING PROVIDED: 220 SPACES</td></tr><tr><td colspan="3">PARKING PROVIDED IS BASED ON THE PARKING STUDY APPROVED BY ALBEMARLE COUNTY ZONING DEPARTMENT</td></tr></table>	FACILITY	BASIS FOR CALCULATION	REQUIRED PARKING SPACES	FITNESS FACILITY	1 / 125 SF x (18,623 SF)	149 SPACES	SWIMMING POOL (IN)	1 / s.f.w.s. x 6228 SF	50 SPACES	SWIMMING POOL (OUT)	1 / S.F.W.S. X 6414 SF	51 SPACES	BASEBALL FIELDS	20 / FIELD x 3 FIELDS	60 SPACES	BASKETBALL COURTS	2 / BASKET x 16 BASKETS	32 SPACES	SOCCER FIELD	24 / FIELD x 1 FIELD	24 SPACES	TENNIS COURTS	2 / COURT X 3 COURTS	6 SPACES	TOTAL PARKING REQUIRED = 372 SPACES			10% REDUCTION FOR URBAN PARK = 380 SPACES - 38 SPACES = 338 SPACES			PARKING PROVIDED: 220 SPACES			PARKING PROVIDED IS BASED ON THE PARKING STUDY APPROVED BY ALBEMARLE COUNTY ZONING DEPARTMENT		
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NOTE:	ADDITIONAL AREA IS AVAILABLE FOR THE EXPANSION OF THE PARKING AND OVERFLOW PARKING FOR SPECIAL EVENTS.																																				
TRASH COLLECTION	A DUMPSTER IS PROPOSED ONSITE, THE DUMPSTER SHALL HAVE A WOODEN ENCLOSURE.																																				

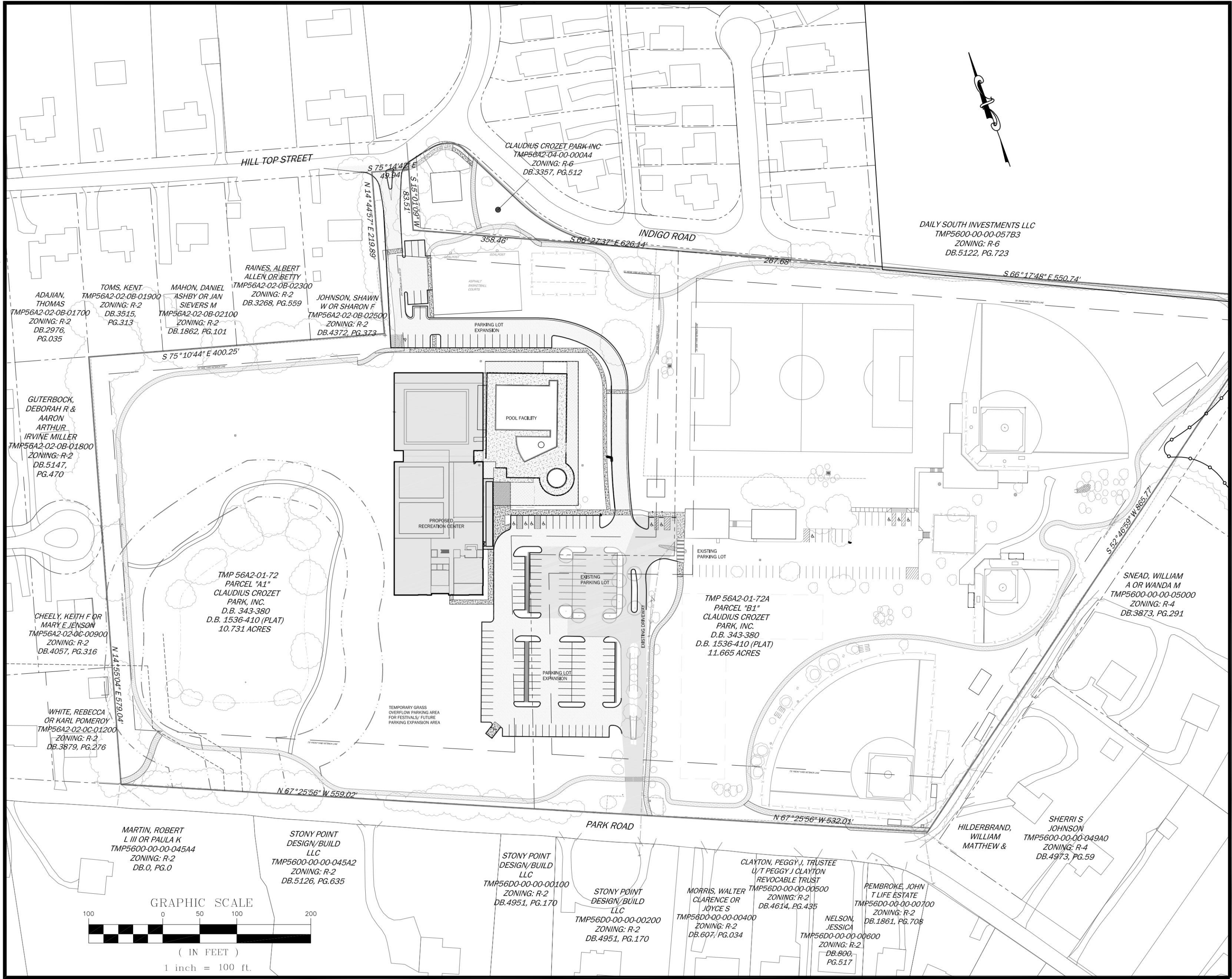
RETAINING WALLS: NO RETAINING WALLS ARE PROPOSED WITH THIS PLAN.

BURIAL SITES: NO CEMETERIES WERE FOUND DURING FIELD INVESTIGATION OF THE SITE.

IMPERVIOUS AREAS: 304,920 SF (7.0 AC) TOTAL

PAVED PARKING AND CIRCULATION AREA: 205,125 SF

AREA CALCULATIONS	
LAND USE AREA	ACREAGE
PAVEMENT & SIDEWALKS	5.54 AC (24.7%)
BUILDINGS	0.93 AC (4.2%)
POOL AND BASKETBALL	0.53 AC (2.4%)
OPEN SPACES	15.81 AC (68.7%)
TOTAL:	22.81 AC



SHEET LAYOUT

SCALE: 1" = 100'

NOTES:
CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS, IF THERE APPEARS TO BE A CONFLICT, AND UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THE PLANS.

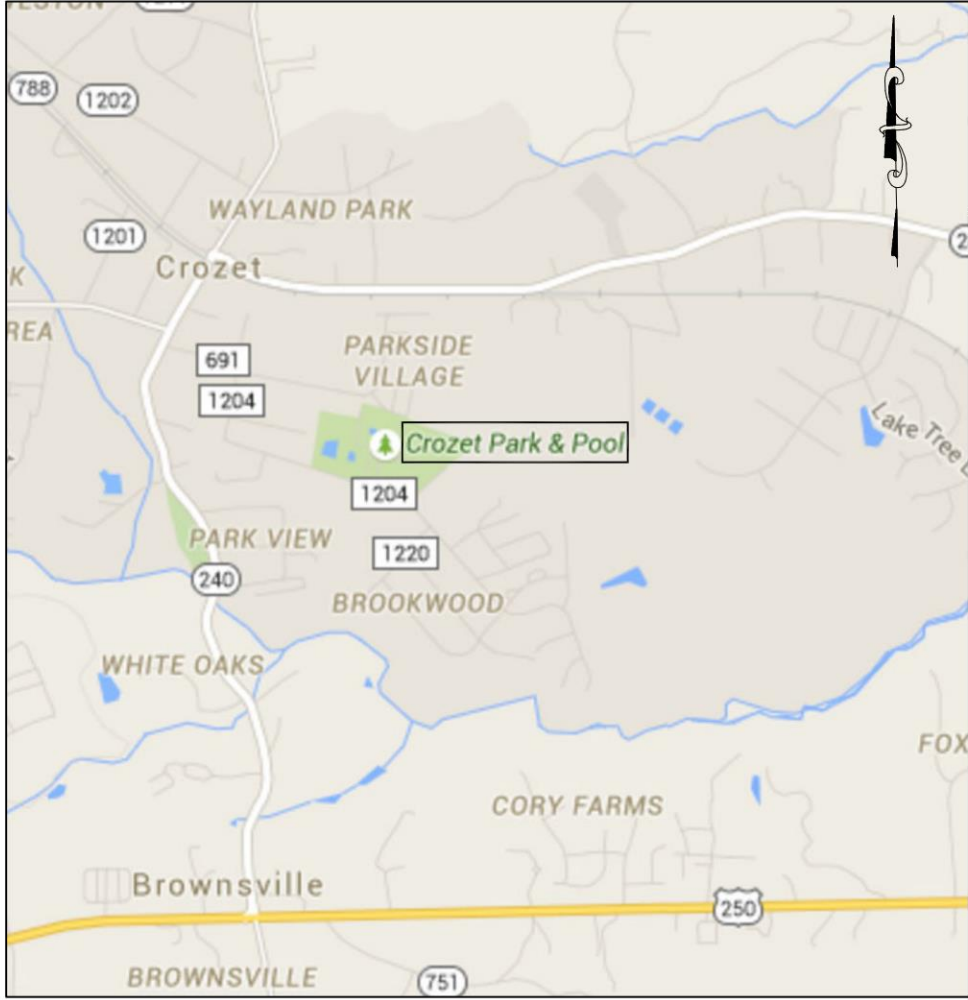
THE CONTRACTOR MUST LOCATE ALL SURFACE AND SUB-SURFACE UTILITIES PRIOR TO ANY WORK ONSITE.

ANY SIDEWALK AND/OR CURB DAMAGE IDENTIFIED IN THE SITE VICINITY DUE TO PROJECT CONSTRUCTION ACTIVITIES AS DETERMINED BY THE VDOT INSPECTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. SIDEWALK WILL BE REPLACED AT THE DIRECTION OF THE VDOT INSPECTOR. ANY EXISTING SIDEWALK THAT IS CURRENTLY DAMAGED AND IN NEED OF REPAIR OR NOT IN COMPLIANCE WITH CURRENT STANDARDS SHOULD BE REPLACED AS PART OF THIS PROJECT AS WELL. IN ADDITION, ANY EXISTING CG-12S ALONG THE PERIMETER OF THE SITE SHOULD BE UPGRADED TO MEET CURRENT STANDARD IF NEEDED.

ALL SIGNING AND PAVEMENT MARKINGS SHALL BE CONSISTENT WITH THE MUTCD.

BUILDING CODE NOTES:

1. RETAINING WALLS GREATER THAN 3 FEET IN HEIGHT REQUIRE A SEPARATE BUILDING PERMIT. WALLS EXCEEDING 4 FEET IN HEIGHT REQUIRE A STAMPED ENGINEERED DESIGN ALSO. WALLS REQUIRE INSPECTIONS AS OUTLINED IN THE USBC.
2. ACCESSIBLE PARKING SPACES, ACCESS ISLES, AND ACCESSIBLE ROUTE SHALL BE INSTALLED IN ACCORDANCE WITH ICC ANSI A117.1-09 AND THE 2015 VIRGINIA CONSTRUCTION CODE.
3. WHERE THE FLOOD LEVEL RIMS OF PLUMBING FIXTURES ARE BELOW THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER, THE FIXTURE SHALL BE PROTECTED BY A BACKWATER VALVE INSTALLED IN THE BUILDING DRAIN, BRANCH OF THE BUILDING DRAIN, OR HORIZONTAL BRANCH SERVING SUCH FIXTURES. PLUMBING FIXTURES HAVING FLOOD LEVEL RIMS ABOVE THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER SHALL NOT DISCHARGE THROUGH A BACKWATER VALVE.
4. ALL ROOF DRAINS SHALL DISCHARGE IN A MANNER NOT TO CAUSE A PUBLIC NUISANCE AND NOT OVER SIDEWALKS.
5. BUILDINGS OR STRUCTURES BUILT BEFORE JANUARY 1, 1985 MUST HAVE AN ASBESTOS SURVEY PERFORMED IN ORDER TO APPLY FOR A DEMOLITION PERMIT. ASBESTOS REMOVAL PERMITS ARE REQUIRED IF POSITIVE FOR SUCH FROM ALBEMARLE COUNTY AND VDOT. CONTACT VDOT FOR THEIR ADDITIONAL REQUIREMENTS AND PERMITS FOR DEMOLITION PROJECTS AT 540-562-3850 x131.
6. ALL WATER, SEWER, AND FIRE LINES REQUIRE NEW INSPECTION AND TESTING PROCEDURES. THE ACSA PERFORMS ANY TESTING AND INSPECTIONS OF THE PUBLIC SEWER AND WATER MAIN(S). THE ALBEMARLE COUNTY BUILDING INSPECTIONS DEPARTMENT (ACBID) DOES A VISUAL INSPECTION AND WITNESSES THE TESTING OF THE BUILDING DRAIN, WATER SERVICE PIPE AND THE SPRINKLER LEAD-IN CONNECTION.
7. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE TO RETAIN A SPECIAL INSPECTOR AS OUTLINED IN THE UPDATED ALBEMARLE COUNTY POLICY FOR SITE UTILITIES TO PERFORM THE VISUAL INSPECTION AND TESTING OF ALL UTILITIES NOT COVERED BY THE ACSA OR ACBID. THIS INCLUDES BUILDING SEWERS, WATER AND FIRE LINE BRANCHES BETWEEN THE MAIN AND THE METER(S)/BUILDING(S).
8. THE SPECIAL INSPECTOR'S REPORT MUST BE SUBMITTED AND APPROVED BY THE ALBEMARLE COUNTY ENGINEERING DEPARTMENT PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED.



VICINITY MAP

SCALE: 1" = 2000'

- PREVIOUS SITE PLANS:
1. SDP 2002-00051 MAJOR SITE PLAN AMENDMENT FOR BALLFIELDS, CONCESSIONS STANDS AND SECOND EXIT ON PARK STREET.
 2. LOR FOR DIGOUT ROOFS AND SCORER PLATFORM @ MAJOR FIELD
 3. LOR FOR SPEED HUMPS IN FRONT OF POOL HOUSE
 4. LOR TO ADD SHED AT POOL
 5. SDP 2011-00015 MINOR SITE PLAN AMENDMENT OF SDP2002-00051 FOR THE POOL DOME
 6. LOR FOR QUICKSTART TENNIS COURTS
 7. SDP 2015-00056 MINOR SITE PLAN AMENDMENT FOR PARKING LOT RENOVATION
 8. SDP 2018-00077 MINOR SITE PLAN AMENDMENT FOR ATHLETIC FIELD LIGHTING

Sheet List Table	
Sheet Number	Sheet Title
1	COVER SHEET
2	EXISTING CONDITIONS & DEMOLITION PLAN
3	SITE PLAN
4	SITE PLAN
5	GRADING & UTILITY PLAN
6	NOTES AND DETAILS
6	TOTAL NUMBER OF SHEETS

STORMWATER MANAGEMENT:
STORMWATER MANAGEMENT FOR THE PROPOSE IMPROVEMENTS ON THE SITE SHALL BE ACCOMMODATED WITH THE PROPOSED WATER QUALITY SWALE AND DRY RETENTION AREA. NUTRIENT CREDITS WILL BE PURCHASED FOR ANY ADDITIONAL WATER QUALITY REQUIREMENTS ON THE SITE. THE PROPOSED WATER QUALITY SWALE AND DRY RETENTION AREA WILL PROVIDE SWM FOR THE INCREASE IN IMPERVIOUS AREA.

LEGEND

	EDGE OF PAVEMENT
	CURB
	PROPOSED BUILDING
	PROPOSED ASPHALT PAVEMENT
	DITCH CENTERLINE
	PROPOSED EASEMENT, OWNERSHIP VARIOUS WITH EACH SHEET
	DRAINAGE PIPE
	BENCH MARK
	SIGN
	PROPOSED HANDICAP PARKING SPACE STRIPING
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	TBC DENOTES TOP/BACK OF CURB
	T/B DENOTES TOP OF BOX
	COUNTY DEFINED MANAGED STEEP SLOPES
	PRESERVED STEEP SLOPES TO BE IMPACTED
	PROPOSED CONCRETE
	PROPOSED & EXISTING GUARDRAIL
	PROPOSED FENCE

APPROVALS		DATE
DEPARTMENT OF COMMUNITY DEVELOPMENT		
PLANNER/ZONING		
ENGINEER		
INSPECTIONS		
ARB		
DEPARTMENT OF FIRE RESCUE		
ALBEMARLE COUNTY SERVICE AUTHORITY		
VIRGINIA DEPARMENT OF TRANSPORTATION		
HEALTH DEPARTMENT		



REVISIONS

REVISION DESCRIPTION	DATE
INITIAL SITE PLAN SUBMITTAL	4/20/20

COLLINS ENGINEERING

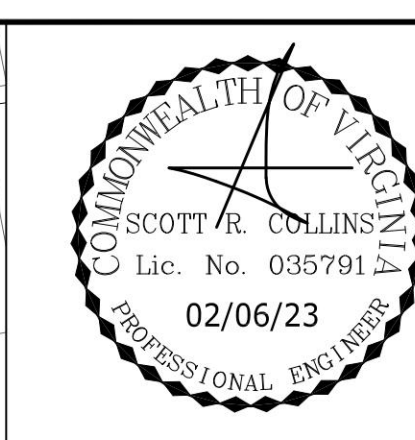
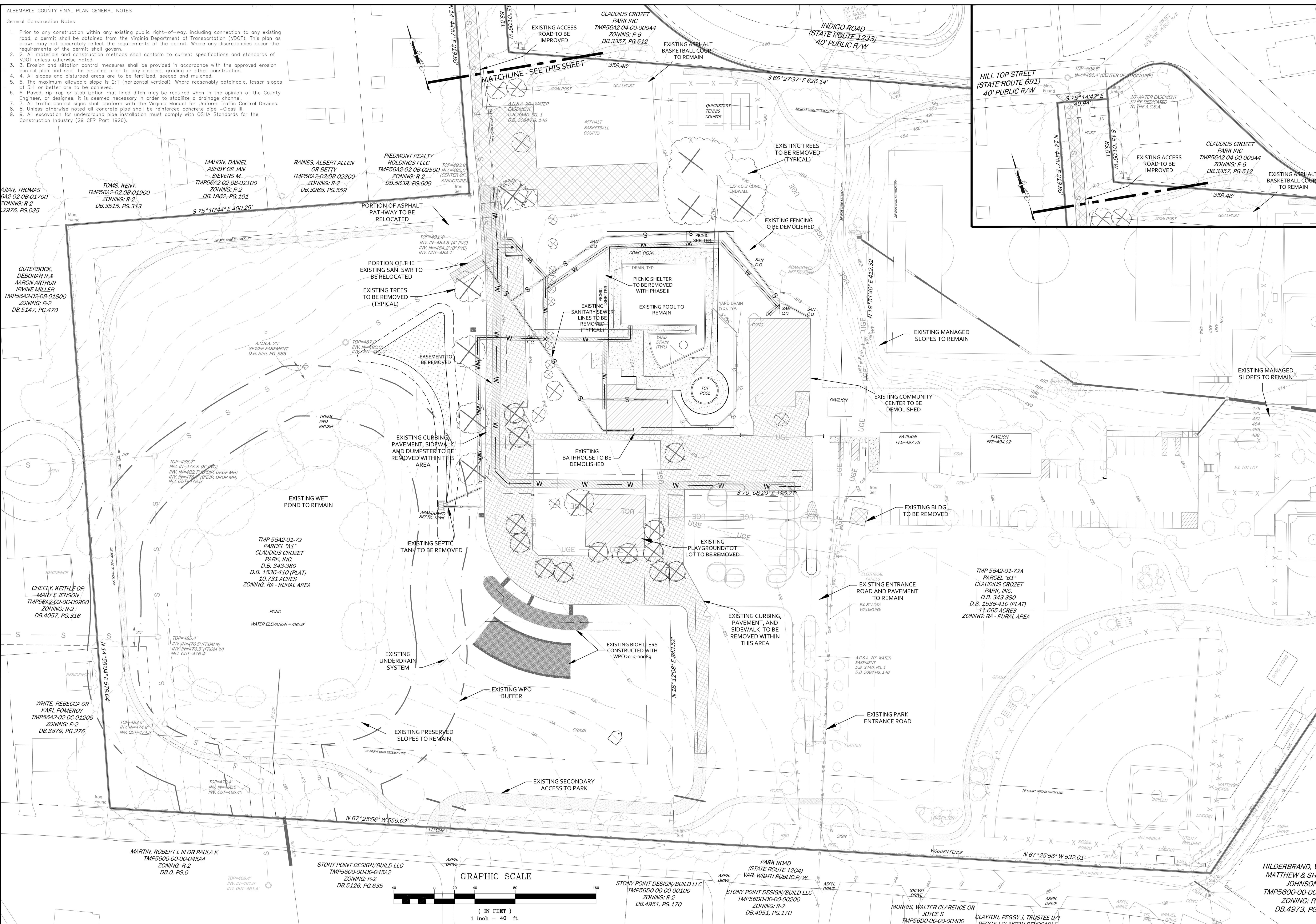
200 GARRETT STREET, SUITE K - CHARLOTTESVILLE, VA 22902 - 434.293.3719



CLAUDIUS CROZET PARK RECREATION CENTER - INITIAL SITE PLAN
COVER SHEET

PROJECT	JOB NO.
142103	
SCALE	1"=100'
SHEET TITLE	SHEET NO.
1	

1. Prior to any construction within any existing public right-of-way, including connection to any existing road, a permit shall be obtained from the Virginia Department of Transportation (VDOT). This plan as drawn may not accurately reflect the requirements of the permit. Where any discrepancies occur to the satisfaction of the VDOT, the VDOT shall prevail.
2. All materials and construction methods shall conform to current specifications and standards of VDOT unless otherwise noted.
3. All erosion and sedimentation control measures shall be provided in accordance with the approved erosion control plan and shall be installed prior to any clearing, grading or other construction.
4. All slopes and disturbed areas are to be fertilized, seeded and mulched.
5. Engine exhausts and all sloped pipe (horizontal-vertical) shall be obtainable, lesser slopes of 3:1 or better are to be achieved.
6. Paved, rip-rap or stabilization mat lined ditch may be required when in the opinion of the County Engineer or other authority it is deemed necessary.
7. All traffic control signs shall conform with the Virginia Manual for Uniform Traffic Control Devices.
8. Unless otherwise noted all concrete pipe shall be reinforced concrete pipe—Class III.
9. All steel pipe and steel pipe installation must comply with AASHTO Standards for the Construction Inventory (29 CFR Part 1926).



REVISIONS	
DATE	REVISION DESCRIPTION
11/03/21	BOARD OF SUPERVISORS APPROVAL FOR SPECIAL USE PERMIT
02/06/23	SUBMISSION OF INITIAL SITE PLAN

COLLINS ENGINEERING

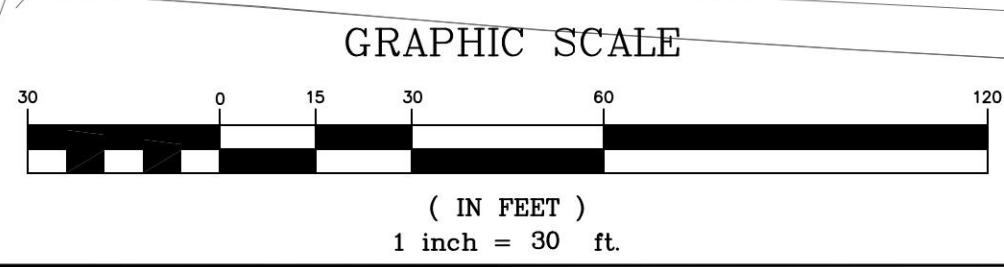
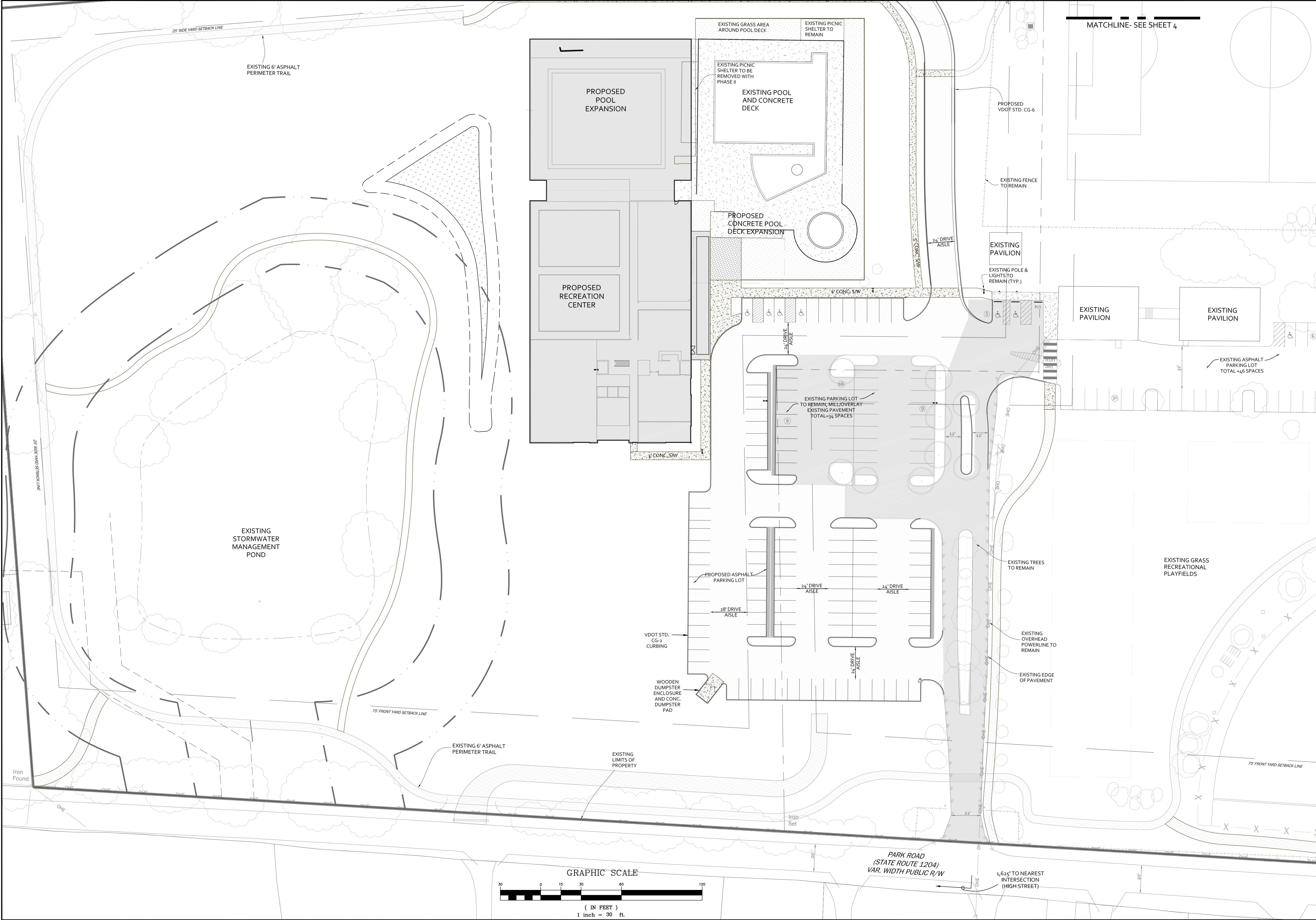
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CLAUDIUS CROZET PARK - INITIAL SITE PLAN

EXISTING CONDITIONS AND DEMOLITION PLAN

PROJECT	SHEET TITLE
JOB NO. 192164	
SCALE 1"=40'	
SHEET NO. 2	

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MATCHLINE- SEE SHEET 4



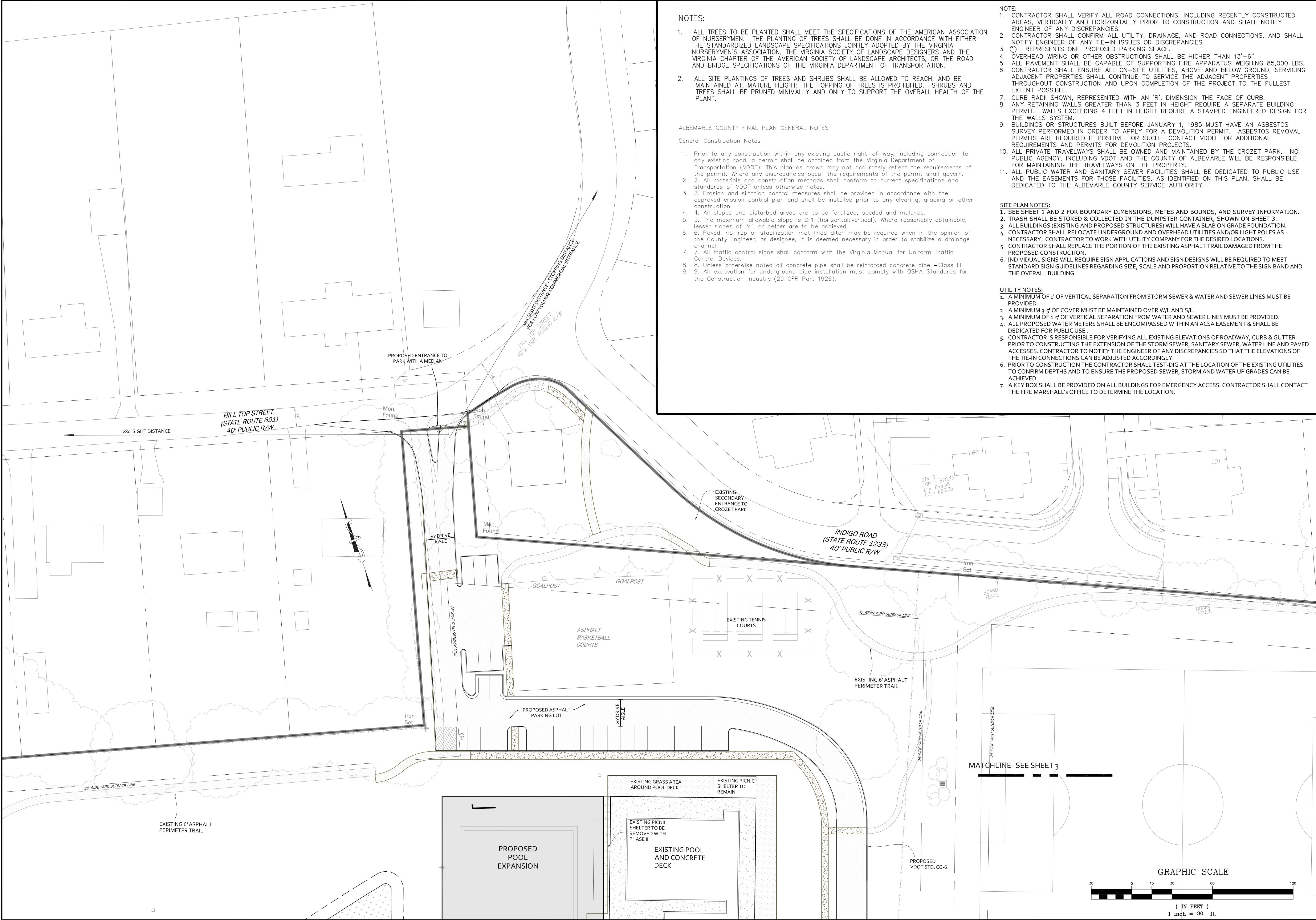
REVISIONS	
DATE	REVISION DESCRIPTION
11/03/21	BOARD OF SUPERVISORS APPROVAL FOR SPECIAL USE PERMIT
02/06/23	SUBMISSION OF INITIAL SITE PLAN

COLLINS ENGINEERING
 200 GARRETT STREET, SUITE K. - CHARLOTTESVILLE, VA 22902 - 434.293.3719

CLAUDIUS CROZET PARK - INITIAL SITE PLAN
 SITE PLAN

PROJECT	JOB NO.
	192164
	SCALE
	1"=30'
SHEET NO.	SHEET TITLE
3	

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NOTES:

- ALL TREES TO BE PLANTED SHALL MEET THE SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN. THE PLANTING OF TREES SHALL BE DONE IN ACCORDANCE WITH EITHER THE STANDARDIZED LANDSCAPE SPECIFICATIONS JOINTLY ADOPTED BY THE VIRGINIA NURSERYMEN'S ASSOCIATION, THE VIRGINIA SOCIETY OF LANDSCAPE DESIGNERS AND THE VIRGINIA CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, OR THE ROAD AND BRIDGE SPECIFICATIONS OF THE VIRGINIA DEPARTMENT OF TRANSPORTATION.
- ALL SITE PLANTINGS OF TREES AND SHRUBS SHALL BE ALLOWED TO REACH, AND BE MAINTAINED AT, MATURE HEIGHT; THE TOPPING OF TREES IS PROHIBITED. SHRUBS AND TREES SHALL BE PRUNED MINIMALLY AND ONLY TO SUPPORT THE OVERALL HEALTH OF THE PLANT.

ALBEMARLE COUNTY FINAL PLAN GENERAL NOTES
General Construction Notes

- Prior to any construction within any existing public right-of-way, including connection to any existing road, a permit shall be obtained from the Virginia Department of Transportation (VDOT). This plan as drawn may not accurately reflect the requirements of the permit. Where any discrepancies occur the requirements of the permit shall govern.
- All materials and construction methods shall conform to current specifications and standards of VDOT unless otherwise noted.
- Erosion and siltation control measures shall be provided in accordance with the approved erosion control plan and shall be installed prior to any clearing, grading or other construction.
- All slopes and disturbed areas are to be fertilized, seeded and mulched.
- The maximum allowable slope is 2:1 (horizontal:vertical). Where reasonably obtainable, lesser slopes of 3:1 or better are to be achieved.
- Paved, rip-rap or stabilization mat lined ditch may be required when in the opinion of the County Engineer, or designee, it is deemed necessary in order to stabilize a drainage channel.
- All traffic control signs shall conform with the Virginia Manual for Uniform Traffic Control Devices.
- Unless otherwise noted all concrete pipe shall be reinforced concrete pipe - Class III.
- All excavation for underground pipe installation must comply with OSHA Standards for the Construction Industry (29 CFR Part 1926).

- NOTE:
- CONTRACTOR SHALL VERIFY ALL ROAD CONNECTIONS, INCLUDING RECENTLY CONSTRUCTED AREAS, VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
 - CONTRACTOR SHALL CONFIRM ALL UTILITY, DRAINAGE, AND ROAD CONNECTIONS, AND SHALL NOTIFY ENGINEER OF ANY TIE-IN ISSUES OR DISCREPANCIES.
 - Ⓢ REPRESENTS ONE PROPOSED PARKING SPACE.
 - OVERHEAD WIRING OR OTHER OBSTRUCTIONS SHALL BE HIGHER THAN 13'-6".
 - ALL PAVEMENT SHALL BE CAPABLE OF SUPPORTING FIRE APPARATUS WEIGHING 85,000 LBS.
 - CONTRACTOR SHALL ENSURE ALL ON-SITE UTILITIES, ABOVE AND BELOW GROUND, SERVICING ADJACENT PROPERTIES SHALL CONTINUE TO SERVICE THE ADJACENT PROPERTIES THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF THE PROJECT TO THE FULLEST EXTENT POSSIBLE.
 - CURB RADII SHOWN, REPRESENTED WITH AN 'R', DIMENSION THE FACE OF CURB.
 - ANY RETAINING WALLS GREATER THAN 3 FEET IN HEIGHT REQUIRE A SEPARATE BUILDING PERMIT. WALLS EXCEEDING 4 FEET IN HEIGHT REQUIRE A STAMPED ENGINEERED DESIGN FOR THE WALLS SYSTEM.
 - ALBUILDINGS OR STRUCTURES BUILT BEFORE JANUARY 1, 1985 MUST HAVE AN ASBESTOS SURVEY PERFORMED IN ORDER TO APPLY FOR A DEMOLITION PERMIT. ASBESTOS REMOVAL PERMITS ARE REQUIRED IF POSITIVE FOR SUCH. CONTACT VDOI FOR ADDITIONAL REQUIREMENTS AND PERMITS FOR DEMOLITION PROJECTS.
 - ALL PRIVATE TRAVELWAYS SHALL BE OWNED AND MAINTAINED BY THE CROZET PARK. NO PUBLIC AGENCY, INCLUDING VDOT AND THE COUNTY OF ALBEMARLE WILL BE RESPONSIBLE FOR MAINTAINING THE TRAVELWAYS ON THE PROPERTY.
 - ALL PUBLIC WATER AND SANITARY SEWER FACILITIES SHALL BE DEDICATED TO PUBLIC USE AND THE EASEMENTS FOR THOSE FACILITIES, AS IDENTIFIED ON THIS PLAN, SHALL BE DEDICATED TO THE ALBEMARLE COUNTY SERVICE AUTHORITY.

SITE PLAN NOTES:

- SEE SHEET 1 AND 2 FOR BOUNDARY DIMENSIONS, METES AND BOUNDS, AND SURVEY INFORMATION.
- TRASH SHALL BE STORED & COLLECTED IN THE DUMPSTER CONTAINER, SHOWN ON SHEET 3.
- ALL BUILDINGS (EXISTING AND PROPOSED STRUCTURES) WILL HAVE A SLAB ON GRADE FOUNDATION.
- CONTRACTOR SHALL RELOCATE UNDERGROUND AND OVERHEAD UTILITIES AND/OR LIGHT POLES AS NECESSARY. CONTRACTOR TO WORK WITH UTILITY COMPANY FOR THE DESIRED LOCATIONS.
- CONTRACTOR SHALL REPLACE THE PORTION OF THE EXISTING ASPHALT TRAIL DAMAGED FROM THE PROPOSED CONSTRUCTION.
- INDIVIDUAL SIGNS WILL REQUIRE SIGN APPLICATIONS AND SIGN DESIGNS WILL BE REQUIRED TO MEET STANDARD SIGN GUIDELINES REGARDING SIZE, SCALE AND PROPORTION RELATIVE TO THE SIGN BAND AND THE OVERALL BUILDING.

UTILITY NOTES:

- A MINIMUM OF 1' OF VERTICAL SEPARATION FROM STORM SEWER & WATER AND SEWER LINES MUST BE PROVIDED.
- A MINIMUM 3.5' OF COVER MUST BE MAINTAINED OVER W/L AND S/L.
- A MINIMUM OF 1.5' OF VERTICAL SEPARATION FROM WATER AND SEWER LINES MUST BE PROVIDED.
- ALL PROPOSED WATER METERS SHALL BE ENCOMPASSED WITHIN AN ACSA EASEMENT & SHALL BE DEDICATED FOR PUBLIC USE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING ELEVATIONS OF ROADWAY, CURB & GUTTER PRIOR TO CONSTRUCTING THE EXTENSION OF THE STORM SEWER, SANITARY SEWER, WATER LINE AND PAVED ACCESSSES. CONTRACTOR TO NOTIFY THE ENGINEER OF ANY DISCREPANCIES SO THAT THE ELEVATIONS OF THE TIE-IN CONNECTIONS CAN BE ADJUSTED ACCORDINGLY.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL TEST-DIG AT THE LOCATION OF THE EXISTING UTILITIES TO CONFIRM DEPTHS AND TO ENSURE THE PROPOSED SEWER, STORM AND WATER UP GRADES CAN BE ACHIEVED.
- A KEY BOX SHALL BE PROVIDED ON ALL BUILDINGS FOR EMERGENCY ACCESS. CONTRACTOR SHALL CONTACT THE FIRE MARSHALL'S OFFICE TO DETERMINE THE LOCATION.

REVISIONS

REVISION DESCRIPTION	DATE
BOARD OF SUPERVISORS APPROVAL FOR SPECIAL USE PERMIT	11/03/21
SUBMISSION OF INITIAL SITE PLAN	02/06/23

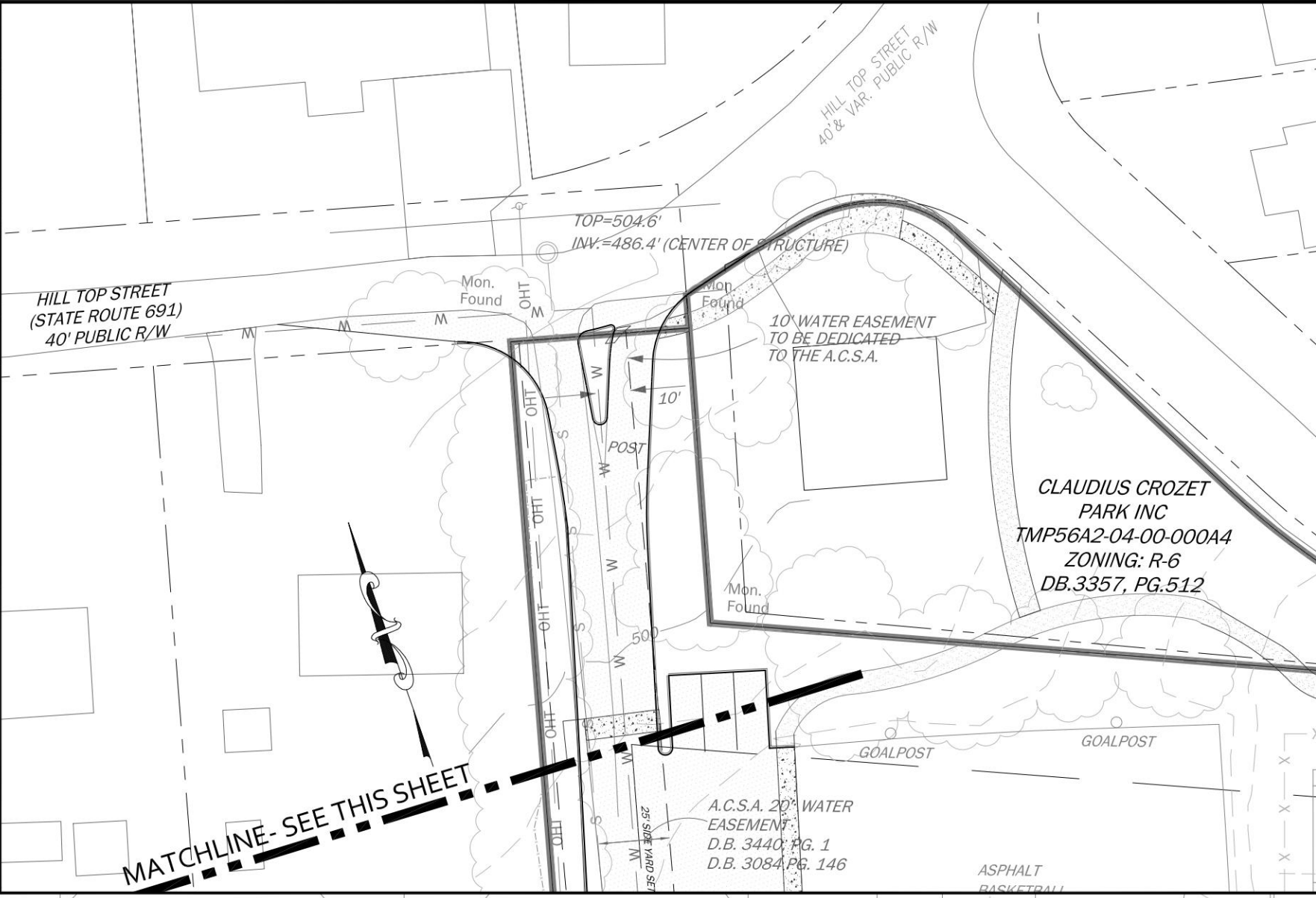
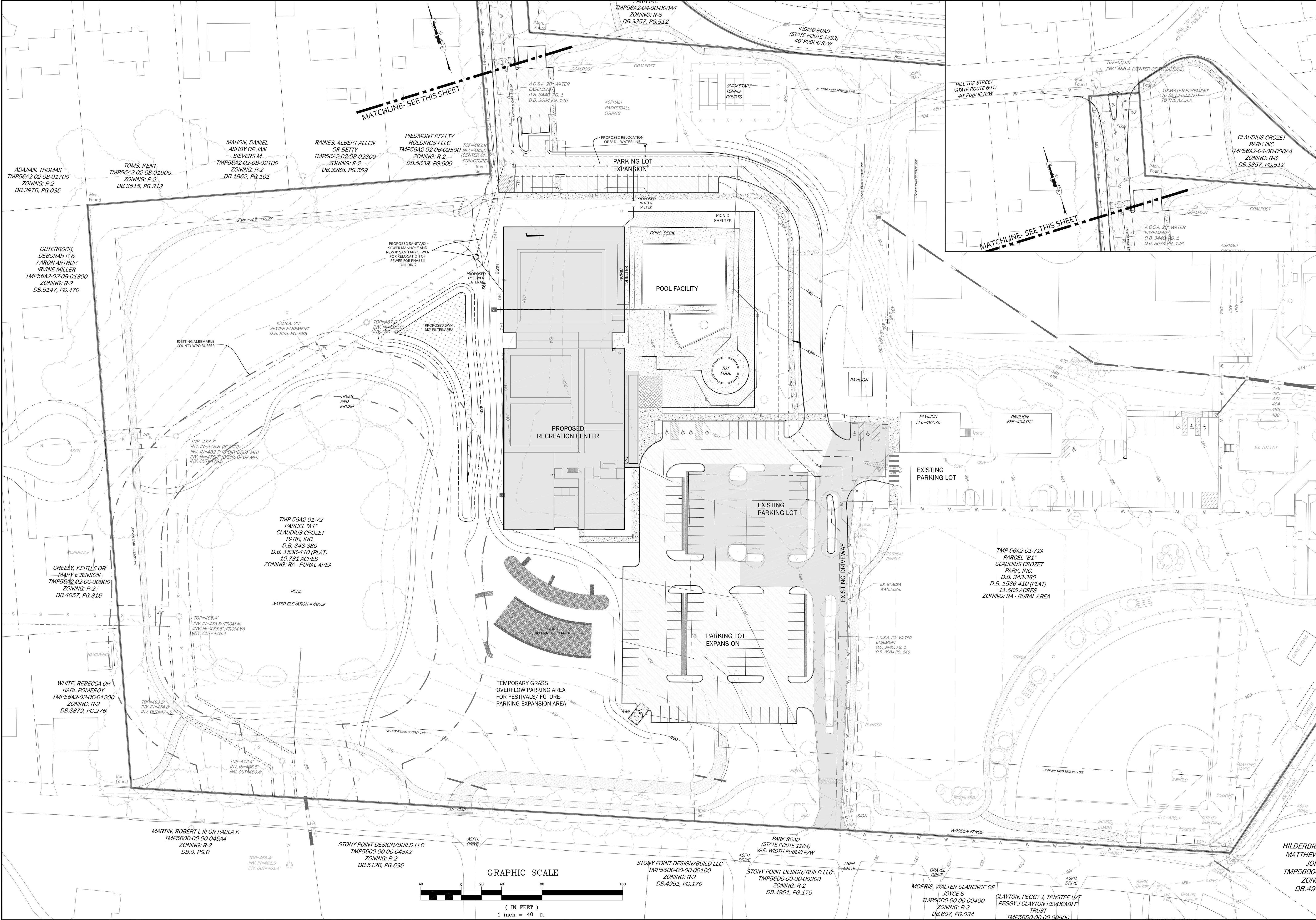
COLLINS ENGINEERING
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CE

CLAUDIUS CROZET PARK - INITIAL SITE PLAN
SITE PLAN

PROJECT	JOB NO.
	192164
	SCALE
	1"=30'
SHEET TITLE	SHEET NO.
	4





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PROJECT

JOB NO.

192164

SHEET TITLE

CLAUDIUS CROZET PARK - INITIAL SITE PLAN

SHEET NO.

5

DATE

11/03/21

REVISION DESCRIPTION

BOARD OF SUPERVISORS APPROVAL FOR SPECIAL USE PERMIT

DATE

02/06/23

REVISION DESCRIPTION

SUBMISSION OF INITIAL SITE PLAN

COMMONWEALTH OF VIRGINIA

SCOTT R. COLLINS

Lic. No. 035791

02/06/23

PROFESSIONAL ENGINEER

REVISIONS

REVISION DESCRIPTION

BOARD OF SUPERVISORS APPROVAL FOR SPECIAL USE PERMIT

SUBMISSION OF INITIAL SITE PLAN

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